

CATOOSA COUNTY SCHOOL SYSTEM RINGGOLD, GEORGIA

REQUEST FOR QUALIFIED CONTRACTOR (RFQC)

FOR CONSTRUCTION MANAGEMENT SERVICES

March 22, 2021

INTRODUCTION

The Catoosa County School System (CCSS) desires to retain the services of a professional Construction Management (CM) firm for the management, under a construction management/contractor format, for the construction of LFO High School Athletic Facility Improvements.

To qualify for consideration, a firm must be prepared to provide the expertise, resources and personnel experience in project planning, cost management, project control, preconstruction and construction techniques, value-engineering analysis, scheduling and quality assurance throughout the planning and construction phases of the project.

The services to be performed by the CM will have as their objective the efficient, economical, and timely delivery of the project by managing the construction of the project within the time and cost limitations and within established quality requirements. The services will be performed during the pre-construction phase and construction phase including working with owner and architect in project planning, arrangement of bid packages, bidding and award of the trade contracts and management of construction until occupancy is achieved.

PROJECT DESCRIPTION

The project consists of several pieces:

1. Upgrades to the Baseball and Softball stands, pressbox, concessions, hitting facility and restrooms
2. Project may also include:
 - a. Football Team Field House
 - b. Football Concessions/Restrooms
 - c. Upgrades/relocation of Tennis Courts

PROJECT SCHEDULE

Project Schedule has several milestone dates:

- | | |
|---------------------------|----------------|
| • CM Selection | June 2021 |
| • Baseball | |
| ○ Groundbreaking | September 2021 |
| ○ Opening Day | February 2022 |
| • Softball | |
| ○ Ground Breaking | November 2021 |
| ○ Substantial Completion | May 2022 |
| • Other Athletic Projects | TBD |

PRE-PROPOSAL CONFERENCE

A Mandatory Pre-Proposal Conference will be held on April 7, 2021 at 3:00 p.m. at Catoosa County Schools Central Office, 307 Cleveland Street, Ringgold, Georgia 30736.

PUBLIC INFORMATION

Since this is a competitive sealed proposal and not a competitive sealed bid, the only information that will be available prior to the Catoosa County Public Schools awarding of a contract will be a list of vendors submitting proposals. After contract award has been publicly voted on by the Board, pricing and other information will be available.

Proprietary information will not be available for public inspection. Vendors shall clearly identify such information contained in their proposal(s) and specifically the Official Code of Georgia Annotated (O.C.G.A.) Title, Chapter & Section that applies. The Catoosa County Public Schools accepts no responsibility for such proprietary information being released if not clearly identified as such.

All information received pursuant to this solicitation and public access to any of this information shall be in accordance with the Georgia Law.

ADDENDA

The proposer shall include acknowledgment of receipt of addenda (if any) in their sealed proposal.

NON-COLLUSION AND EQUAL OPPORTUNITY POLICY

The RFP must include a signed Statement of Assurance and Non-Collusion Affidavit. The firm must also sign a Contractor Affidavit and Agreement indicating compliance with O.C.G.A. 13-10-91 (compliance with Federal Work Authorization Program.)

Copies of these policies and affidavits are included in this RFP (Exhibit A & B).

TIME FOR CONSIDERATION

Due to the evaluation process, proposals must remain in effect for at least **60 (Sixty) days** after date of receipt.

SCOPE AND STYLE OF SERVICES TO BE PERFORMED

In issuing the RFQC, it is the intent of CCSS that the successful CM will provide a Guaranteed Maximum Price (GMP) for the cost of the construction of the project to include a Guaranteed Delivery Date (GDD). CCSS also intends that the successful CM accept the following stipulations:

1. Provide Performance and Material and Labor Payment Bonds in the amount of 100% of the GMP.
2. Individual Trade Contracts will be between the CM and the Trade Contractors, subject to CCSS approval.

3. The CM will not perform any portion of the project with its own forces except as may be mutually agreed to by the owner and the CM.
4. The CM will be “at risk” in the proposed undertaking and will be responsible for completing the project within the GMP.
5. Should the final cost of the project be less than the GMP, savings shall be shared equally between CCSS and the CM.
6. An agreed percentage of pay applications will be held in retention.
7. CCSS shall have the authority to suspend or terminate performance of the project.
8. Construction Manager will share with CCSS the calculations and assumptions on which the CM’s proposed CMP is based.

LIST OF REPRESENTATIVE SERVICES TO BE PROVIDED BY THE CM

Project Planning

The CM is expected to work with the owner and heir design professionals to plan the project to include:

1. Reviewing ideas and suggestions offered by the owner, with regard to feasibility or constructability.
2. Evaluate designs with respect to constructability issues.
3. Evaluate value-engineering opportunities.

Bidding and Awarding Phase

1. Arrange bid packages.
2. Develop requirements to assure time, cost and quality control during construction.
3. Provide a provisional construction schedule for issuance with the bid package.
4. Identify bidders and generate bidder interest.
5. Schedule and conduct prebid conferences in conjunction with the architect and representatives from CCSS.
6. Advertise and distribute bidding documents.
7. Monitor bidder activity.
8. Review and analyze bids and recommended awards.
9. Update schedule.

Construction Phase

1. Maintain on-site staff for construction management.
2. Establish and maintain coordinating procedures.
3. Develop and maintain a detailed schedule including delivery, approvals, inspection, testing, construction and occupancy.
4. Conduct and record job meetings.
5. Prepare and submit change order documentation for approval of the architect and CCSS.
6. Maintain a system for review and approval of shop drawings.
7. Maintain records and submit routine reports to architect and CCSS.
8. Maintain quality control and ensure conformity to contract documents.
9. Provide cost control through progress payment review and verification according to the approved schedule and contract amounts.
10. Coordination of post completion activities, including the assembly of guarantees, manuals and the owner's final acceptance. Submit all Close Out documents to the owner in hard copy and a digital format acceptable to the owner.

PROPOSAL SUBMISSION REQUIREMENTS

The complete proposal shall contain the following information and shall be submitted in the order shown below:

Technical and Cost Proposal

Submit one original and four identical copies of the proposal. For proper identification, the proposer's complete name and address should appear on the exterior of the proposal package.

The Offeror must complete and submit the following general information:

1. Transmittal letter to include contact person during this process, phone and e-mail address. An authorized agent must sign the transmittal letter.
2. Satisfactory proof that the Construction Manager will be able to furnish 100% Performance and Payment Bond at the execution of the contract. (Letter from Surety Company)
3. Insurance certificates as outlined elsewhere in this RFP.
4. Executed Non-Collusion/Statement of Assurance Affidavits (Exhibit A).
5. Executed Federal Work Authorization Affidavit (Exhibit B).
6. Acknowledgment of receipt of any Addenda.
7. Any other information considered pertinent by the proposer.

CRITERIA FOR THE EVALUATION OF PROJECT PROPOSALS

- A. Project Team (45 points)
- a. Relevance of the Experience and Qualifications of the Proposed Project Team to this project, including: Experience of the project manager and superintendent working together on past similar projects; Assigned team's experience with projects of similar facility size, type, and complexity. Assigned team's experience with effective budget control; Assigned team's experience with effective schedule control; Availability of the proposed team for this project. If applicable, the assigned team's experience working with the assigned Architect and Construction Division.
- B. Previous performance of the firm including level of quality of the services of the firm to previous customer's the firm's ability to meet established time requirements, the firm's response to project needs during preconstruction and construction, the firm's control of construction quality and budget and customer's statements attesting to the firm's qualifications. *Owner and Architect references may be used from previous projects of the finalists, among other information as necessary.*
- B. Management Plan (20 points)
- a. Quality of proposed Management Plan, including: The Firm's cost management plan; Firm's schedule management plan during design and construction; Firm's approach for managing changes within the stated cost and schedule limitations; Firm's approach for competitively administering and evaluating bid packages; The Firm's subcontractor management plan; The Firm's quality assurance program and plan; The Firm's close-out plan; The Firm's work force plan; and The Firm's safety plan and site logistics plan for proposed project.
- b. Methodology Presented to assure success and the ability of principals to engender confidence in the ability of the firm to complete the project within the time and cost budgeted, including the effectiveness in communication of the team members during the interview process.
- C. Fees (35 points)
- a. Proposed Fee for Construction Manager's overhead and profit as a percentage of the construction cost. The cost for pre-construction services is to be included in the fee. The costs of all personnel utilized for pre-construction and construction not stationed at the jobsite are to be included in the fee, as well as all home office overhead.
- b. Provide an itemized estimate for General Conditions that will be included in the final GMP. Use Attachment "C" for preparing this estimate.

RECEIPT AND CONTENT OF PROPOSALS

Proposals will be received until **2:00 PM Monday, April 26, 2021**. To be accepted, all proposals are to be submitted, in sealed packages marked "Response to CM RFQC". Proposals must be sent by U.S. Mail, courier service such as Federal Express or United Parcel Service or hand delivered. No proposals will be accepted via fax transmission regardless of time of delivery. **Five (5)** copies of the proposal should be sent or delivered to:

CM RFQC

**Attention: Mr. Mike Sholl
Catoosa County School System
307 Cleveland Street
Ringgold, Georgia 30736**

QUESTIONS

Questions concerning the RFQC shall be emailed to Mr. Ray Boaz at rboaz@dhw-architects.com .

ATTACHMENTS

EXHIBIT A Statement of Assurance
EXHIBIT B Federal Work Authorization Program
EXHIBIT C General Conditions Cost Summary Worksheet
EXHIBIT D BB/SB Conceptual Plans

MANDATORY PRE-PROPOSAL CONFERENCE ATTENDANCE CONFIRMATION FORM

DATE: _____

TO: Mr. Mike Sholl
Catoosa County Public Schools
Email: msholl@catoosa.k12.ga.us

RE: RFP for Construction Management Services

A Mandatory Pre-Proposal Conference will be held at 3:00 P.M. on Wednesday April 7, 2016 at Catoosa County Public Schools Central Office.

The purpose of the conference is to discuss any questions or concerns vendors may have regarding the required services. Please return this form at the mandatory pre-proposal meeting to CCPS Construction Department to confirm attendance at the mandatory pre-proposal conference.

(PLEASE PRINT)

FROM:

Company Name Website

Representative Email Address

Mailing Address City State Zip

Telephone Number Fax Number

QUESTION / CLARIFICATION EMAIL FORM

DATE: _____

TO: Mike Sholl
 Catoosa County Public Schools
 Email: msholl@catoosa.k12.ga.us

RE: RFQC for Construction Management Services

.....
I have the following concerns/questions about the proposal specifications:

From:

 Company Name Website

 Representative Email Address

 Complete Address City State Zip

 Telephone Number Fax Number

EXHIBIT A

CATOOSA COUNTY PUBLIC SCHOOLS

COMPETITIVELY BID CONTRACTS

STATEMENT OF ASSURANCE

COMPLIANCE WITH BOARD POLICY DJED

The Undersigned Vendor/Contractor provides this Statement of Assurance to the Catoosa County Public Schools wherein the Undersigned acknowledges receipt and awareness of Catoosa County Public Schools Policy DJED; the vendor/contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, disability or national origin. Such action shall include, but not limited to the following; employment, upgrading, demotion, transfer, recruitment, layoff, termination, rates of pay or other forms of compensation and training.

This the _____ day of _____, (Year).

Contractor

CATOOSA COUNTY PUBLIC SCHOOLS

COMPETITIVELY BID CONTRACTS

NON – COLLUSION AFFIDAVIT

COMPLIANCE WITH LAWS OF GEORGIA

“I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies, or equipment and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of state and federal law and can result in fines, prison sentences, and civil damage awards. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.

This the _____ day of _____, (Year)

Contractor

EXHIBIT B

CATOOSA COUNTY PUBLIC SCHOOLS

SB 529 Georgia Security and Immigration Compliance Act of 2006

Federal Work Authorization Program

“EEV/Basic Pilot Program”

Effective July 1, 2007

PUBLIC EMPLOYERS, THEIR CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO VERIFY NEW EMPLOYEE WORK ELIGIBILITY THROUGH A FEDERAL WORK AUTHORIZATION PROGRAM

All Contractors and Sub-Contractors providing services to public employers must register and participate in this Federal Work Authorization Program in accordance with the applicability provisions and deadlines established in O.C.G.A.13-10-91. The EEV/Basic Pilot Program is operated by the Homeland Security Department. To register please log-on to the following website:

<https://www.vis-dhs.com/EmployerRegistration>

This regulation shall apply as follows:

- (A) On or after July 1, 2007, with respect to public employers, contractors, or subcontractors of 500 or more employees;
- (B) On or after July 1, 2008, with respect to public employers, contractors, or subcontractors of 100 or more employees;
- (C) On or after July 1, 2009, with respect to all public employers, contractors, or subcontractors

This Code shall be enforced without regard to race, religion, gender, ethnicity, or national origin. Please check and initial the statutory number of employees the contractor or sub-contractor has, i.e.

	Check	<u>One</u>	<u>Initial</u>
(A) 500 or more employees	_____	_____	
(B) 100 or more employees	_____	_____	
(C) fewer than 100 employees	_____	_____	

THOSE CONTRACTORS WHO ARE SUBJECT TO THIS ACT MUST COMPLETE AFFIDAVITS (COPIES OF WHICH ARE ATTACHED) FOR CONTRACTORS (AND SUB-CONTRACTORS) AS EVIDENCE OF COMPLIANCE WITH THE ACT. COMPLIANCE WITH THIS ACT IS A MANDATORY CONDITION OF ANY PHYSICAL SERVICES CONTRACT ENTERED INTO WITH THE MUSCOGEE COUNTY SCHOOL DISTRICT AFTER JULY 1, 2007.

CONTRACTOR NAME

BY: Authorized Officer or Agent

DATE

Printed Name of Authorized Officer or Agent

LFO Athletic Facility Improvements
General Conditions Cost Summary Worksheet

Attachment "C"

General Conditions Expense to be included in Contractor's Proposal

1	Mobilization			
2	De-Mobilization			
	On Site Supervision			
3	Project Manager			
4	General Superintendent			
5	Assistant Superintendent/Foremen			
6	Additional Staff On Site			
7	Field Engineering / Layout			
8	Travel/Per Diem Expenses			
9	Job Sign - By Owner			\$0
10	Temporary Protection			
11	Trash Removal/Dumpster/Tipping Fees			
12	General/On Going Clean-UP			
13	Final Clean-UP			
14	Fees for Testing Laboratories - By Owner			\$0
15	On Site Office Equipment/Supplies			
16	On Site Internet Access			
17	Temporary Communciation			
18	LEED Certification Documentation			
19	Safety First Aid Supplies			
20	Temporary Toilets			
21	Document Reproduction			
22	Equipment and Small Tools			
23	Scheduling			
24	Progress Photos			
25	Project Closeout Documents			
26	Temporary Job Trailer			
27	Temporary Storage Trailers			
28	Sub/Material Bid Solicitation Expenses			
29	Temp. Power and Water, Potable Water			
30	Temporary Heat and Fuel			
31	LIST ANY OTHER EXPENSES THAT ARE NOT INCLUDED ABOVE THAT WE SHOULD CONSIDER IN OUR EVALUATION			
	Total General Conditions Costs			

Bonds and Insurance

Provide Cost per \$1,000 of Contract or % of Contract Amount

32	Performance and Payment Bonds			
33	Insurance			
34	Builders Risk Insurance			

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy, Fort Oglethorpe, GA 30742

DH&W

ARCHITECTURE INTERIORS PLANNING
1001 Carter Street - Chattanooga - 37402
423 | 266 | 4816 www.dhw-architects.com

Catoosa County
Schools

Derthick, Henley & Wilkerson Architects

1001 Carter Street

Chattanooga, Tennessee 37402

423-266-4816

FAX 423-267-8830

LFO High School
Softball &
Baseball Fields

1850 Battlefield Pkwy,
Fort Oglethorpe, GA
30742

Date: 01/20/17

Drawn: Author

File: 8193-E

Revisions

Key Plan

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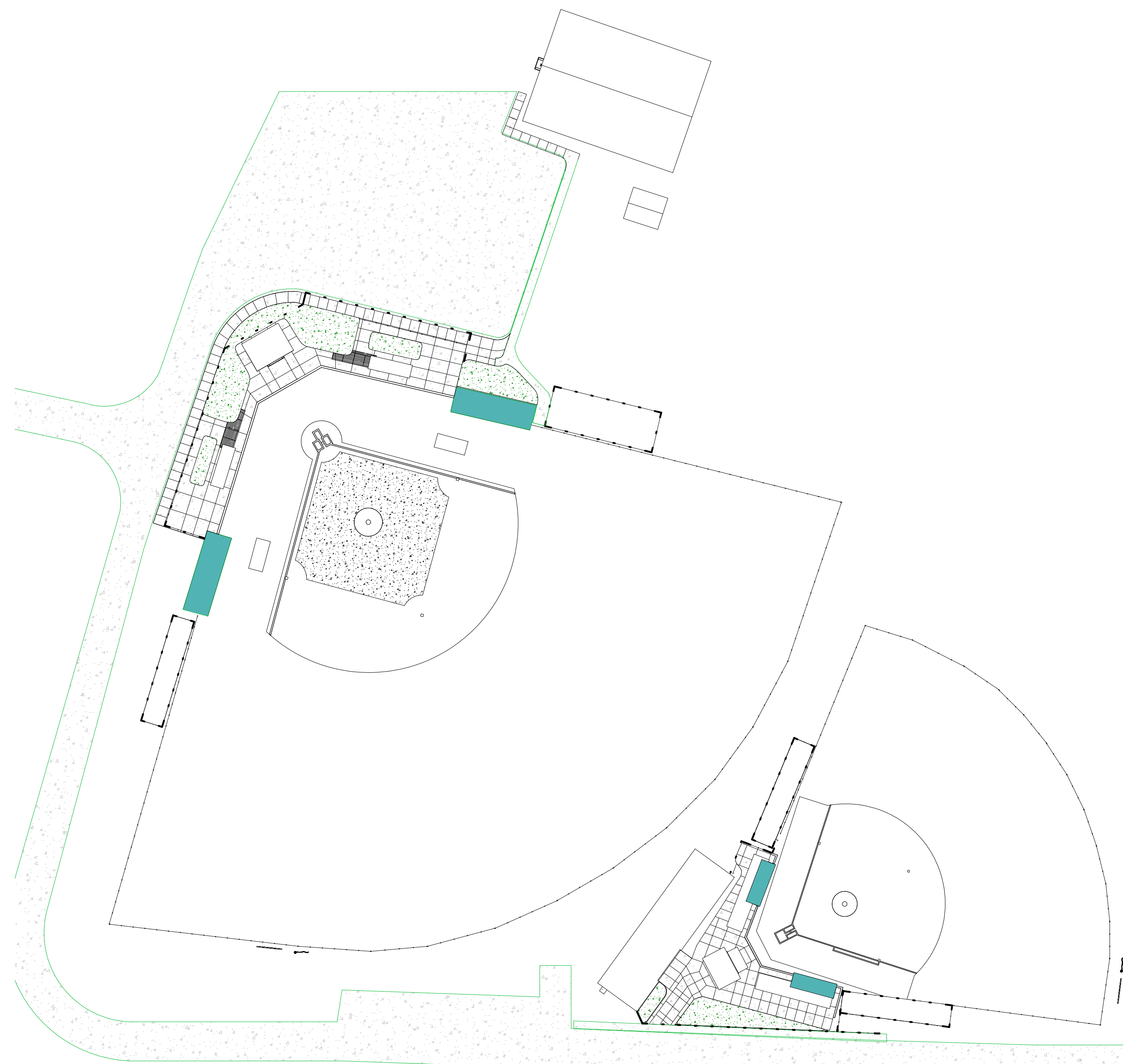
PRELIMINARY PRICING

Title:
Cover Sheet

Scale:

Sheet No.

G000



SHEET LIST

- General
- G000 Cover Sheet
- Architecture
- A001 Overall Site Plan
- A002 Site Plan - Baseball Plaza
- A003 Site Plan - Softball Plaza
- A101 Baseball Locker Room and Restroom
- A102 BB Public Restroom
- A103 Softball Locker Room and Restroom
- A110 BB Concessions and Press Box
- A111 SB Concessions and Press Box
- A113 BB & SB Locker Room and Restroom RCP
- A200 Exterior Elevations
- A401 Interior Elevations
- A601 Finish Schedule and Legend
- D101 Overall Site Demo Plan
- Civil
- C000 Civil sheets go here
- Structural
- S000 Structural Sheets go here
- Mechanical
- M000 Mechanical Sheets go here
- Plumbing
- P000 Plumbing Sheets go here
- Electrical
- E000 Electrical Sheets go here
- Fire Protection
- FP000 Fire Protection Sheets go here
- Landscape
- L000 Landscape Sheets go here

CONTACTS

ARCHITECT

DERTHICK, HENLEY AND WILKERSON, ARCHITECTS
1001 Carter Street
Chattanooga, Tennessee 37402
Telephone: (423) 266-4816
Fax: (423) 267-8830
Contact: Andrew Hausler
ahausler@dhw-architects.com

CONSULTANT

Firm's Name Goes Here...
Firm's Street Address Goes Here...
Firm's City, State, & Zip Goes Here...
Telephone: Firm Phone Number Goes Here...
Fax: Firm Fax Number Goes Here...
Contact: Name of Contact Goes Here...
Email: Contact's Email Goes Here...

GENERAL NOTES

Contractor shall field verify all dimensions, elevations, and locations of existing conditions affecting this project, prior to fabrication or installation of new work. Notify architect of any discrepancies from dimensions shown, noted, or required. Adjust dimensions of new construction at direction of architect to allow for actual field conditions.

Where a detail is shown or note is described for one condition, it shall apply for all like or similar conditions even though not specifically noted on the drawings.

Penetrations through floor slabs and walls shall be carefully cut with saws or drills and patched with same materials and thicknesses as existing.

All penetrations of fire rated walls, floor/ceiling assemblies, and roof/ceiling assemblies by electrical cables, cable trays, electrical conduit, mechanical piping, or plumbing piping shall be protected by through penetration firestop systems as tested by recognized testing laboratories in accordance with (ASTM e 814) UL 1479 "fire tests of through-penetration firestops". Copies of the test of each type penetration to be used shall be submitted for approval by the architect/engineer and building official prior to any installation. Copies of the approved submittal shall be maintained at the jobsite for inspection at all times.

Refer to mechanical, electrical & plumbing drawings for locations of Equipment.

Provide wood blocking (2x6 nom. Unless noted otherwise) for all wall mounted millwork, shelves, equipment, coat rods, etc.) And as indicated for installation of equipment by others. At CMU walls fasteners, shall extend into CMU cells which shall be grouted solid with 3000 psi concrete.

Provide continuous separation between dissimilar materials as required to prevent galvanic corrosion.

Coordinate shaft/riser sizes and locations with mechanical, plumbing and electrical drawings.

Provide & install fire and/or smoke dampers at all openings or ducts passing through designated fire and/or smoke partitions.

Above ceiling or concealed spaces, provide label or stencil "Fire and Smoke Barrier. Protect all openings" for all fire rated walls per Code requirements.

SUMMARY

Code Analysis (edit for project)

Applicable Codes:
2012 International Building Code
2012 International Plumbing Code
2012 International Mechanical Code
2012 International Fuel Code
2012 International Fire Code
2011 National Electrical Code
2009 International Energy Conservation Code
2009 ANSI (National Standard) Accessibility Code

Occupancy Type:
Occupancy Group xx

Construction Type:
Per Table 601 Building is Type xx

Fire Resistance Ratings per Table 601:
Structural Columns: x
Exterior Building Walls: x
Structural Floor Beams: x
Structural Floor Slabs: x
Roofs: x

Area Summary:
First Floor: xxx sf

Fire Suppression System:
Complete automatic sprinkler protection provided for all areas in accordance with Section 903.3.1.1.

Rating Requirements:
713.4, 1009.3.1.2 and 402.4
Elevator Shaft & Room: 1 hr
Stairs: 1 hr
Separation between Occupancies: x hr

Building Occupancy:
Per Table 1004.1.2
First Floor: 3138 sf / xx = xx occupants

Exits and Exit Capacity:
Per 1005.3
x exits provided. xx" exit capacity provided.
xx occupants x .2" = xx" exit capacity required.

Exit Access Travel Distance:
Per Table 1016.2
Occupancy x: xxx feet with sprinkler system

Plumbing Fixtures:
Table 2902.1
First Floor: xx occupants.
Fixtures required/provided:
Waterclosets: x required / x provided
Lavatories: x required / x provided
Drinking Fountain: x required / x provided
Service Sink: x required / x provided

Catoosa County Schools

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy,
 Fort Oglethorpe, GA
 30742

Date: 07/16/19

Drawn: LH

File: 8193-E

Revisions

Key Plan

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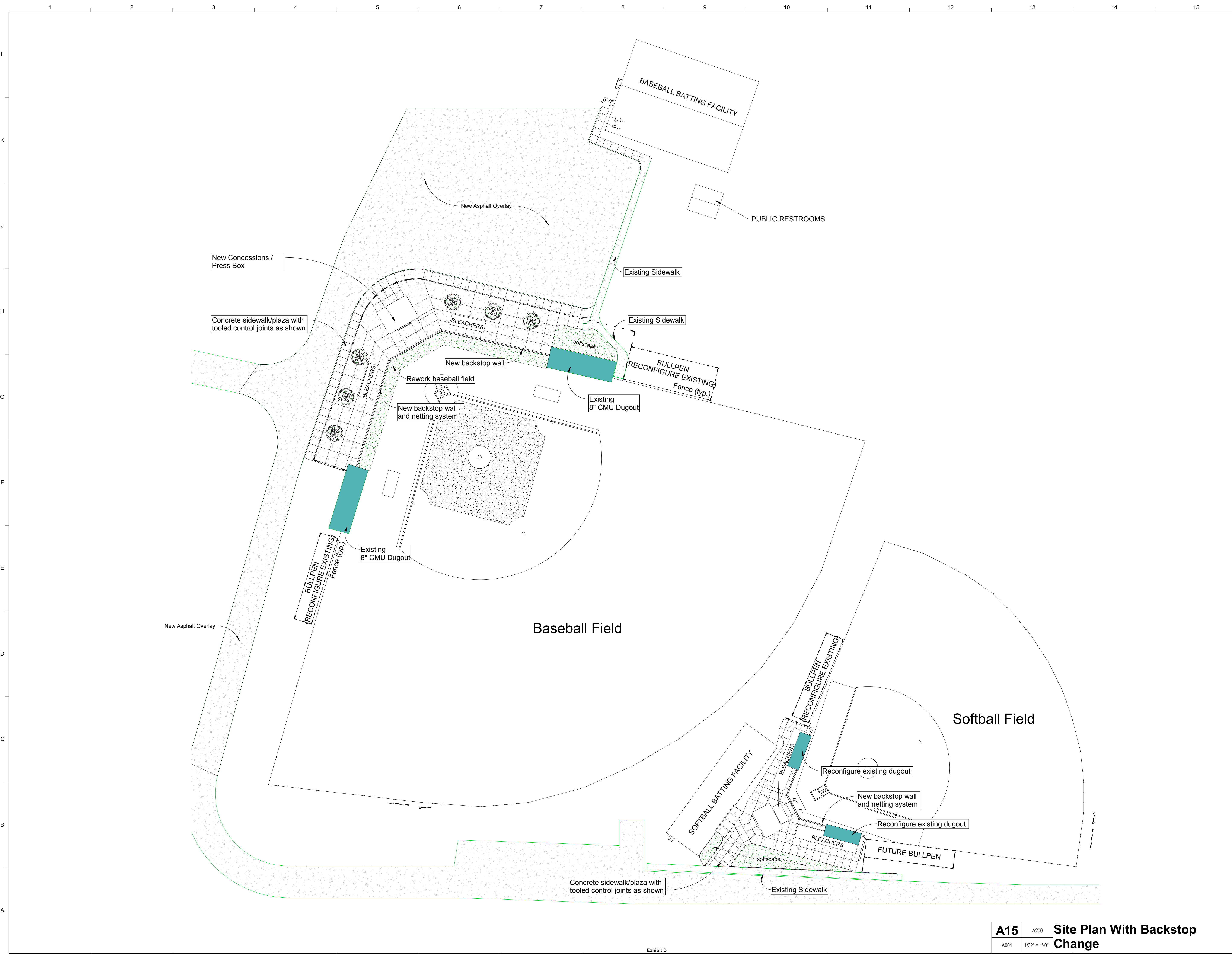
PRELIMINARY PRICING

Title:
Overall Site Plan

Scale:

Sheet No.

A001



A15	A200	Site Plan With Backstop Change
A001	1/32" = 1'-0"	

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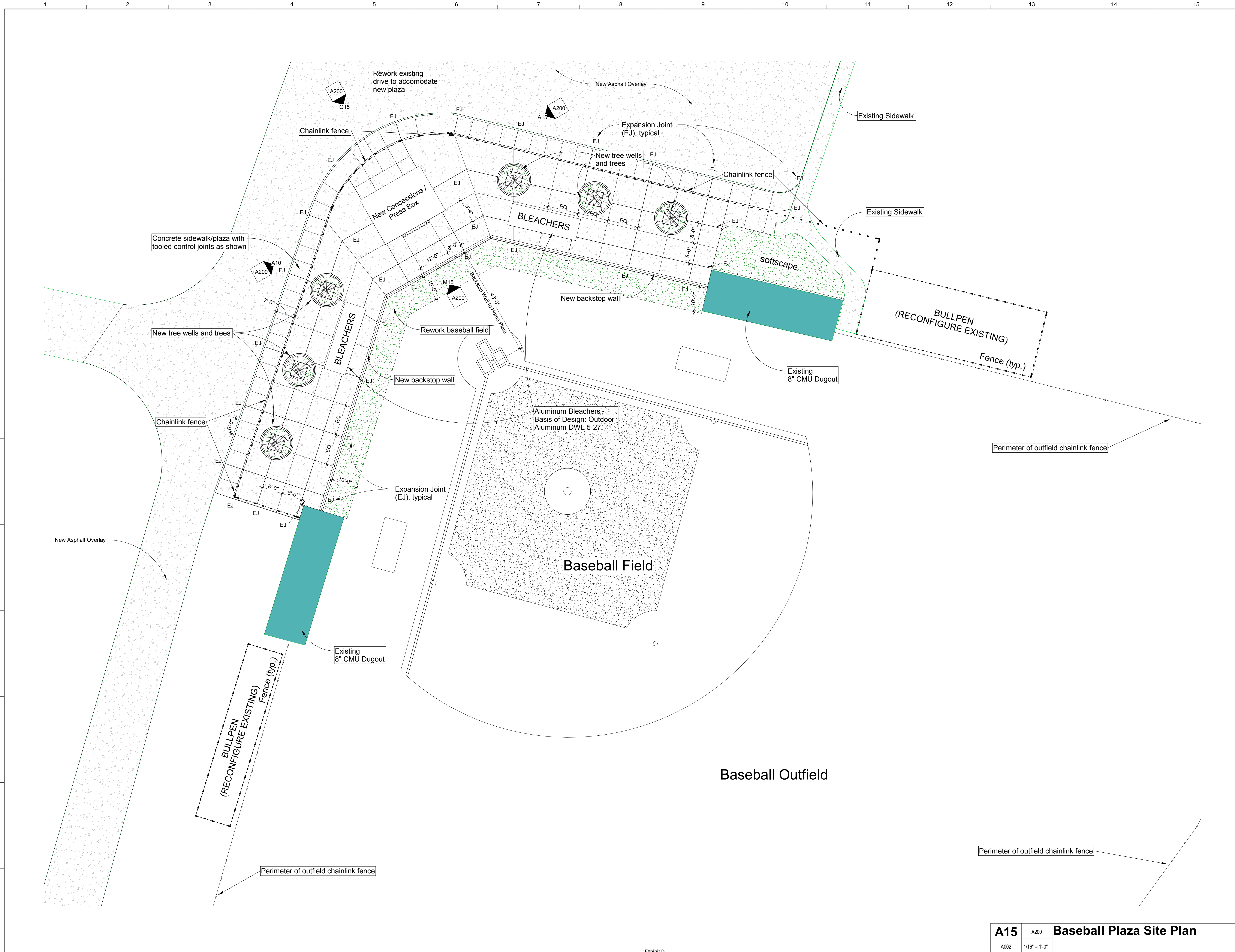
PRELIMINARY PRICING

Title:
Site Plan - Baseball Plaza

Scale:

Sheet No.

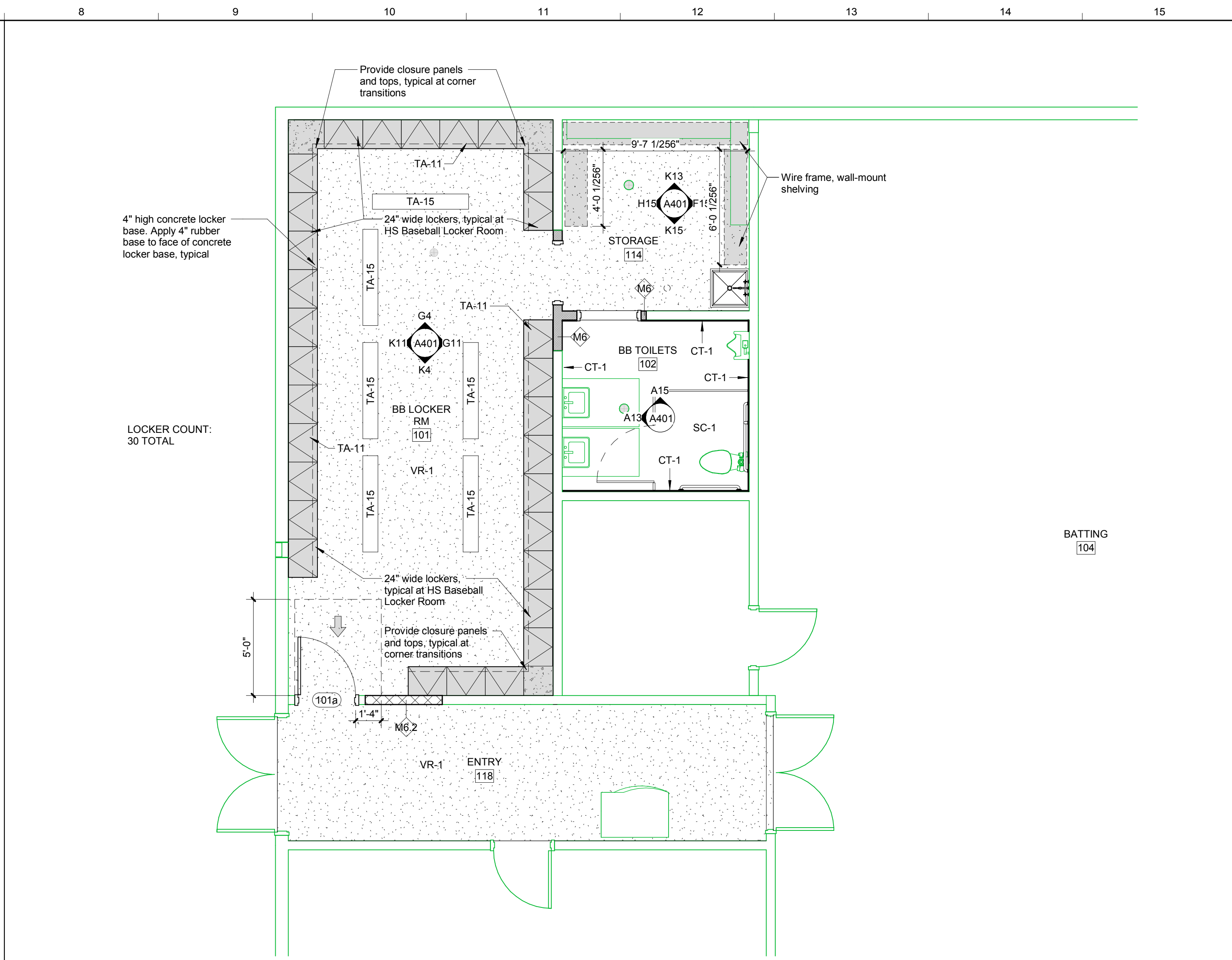
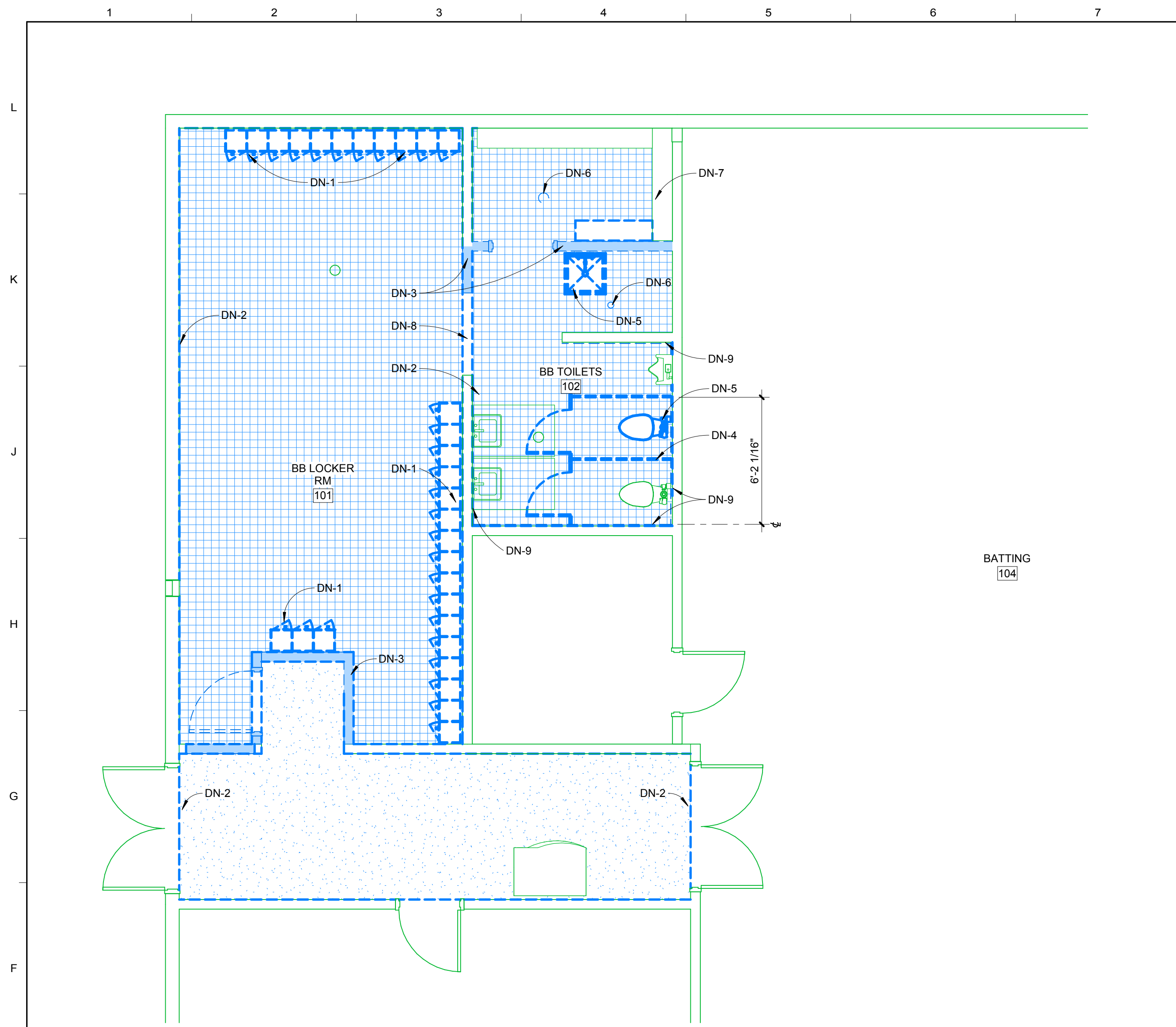
A002



A15	A200	Baseball Plaza Site Plan
A002	1/16" = 1'-0"	



A15	A200	Softball Plaza Site Plan
A003	1/16" = 1'-0"	



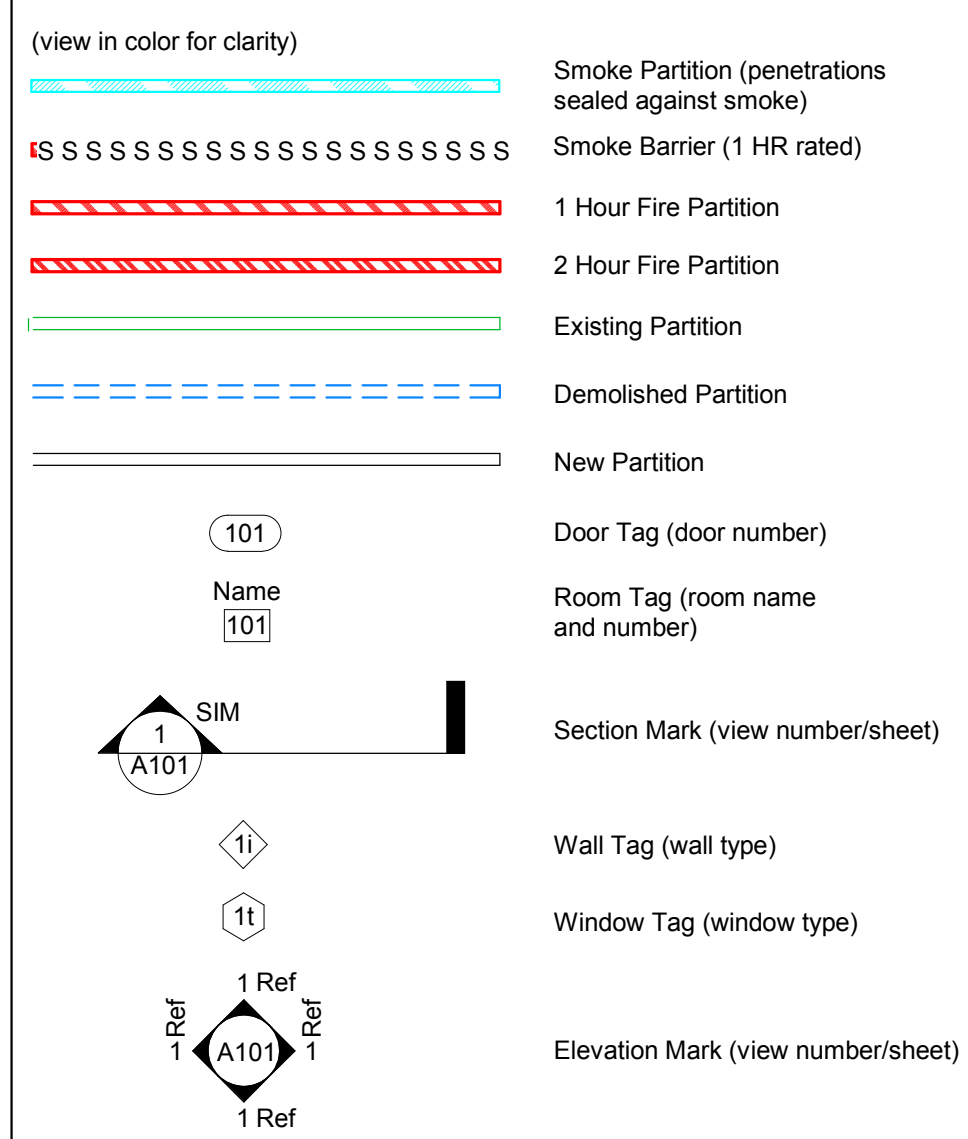
GENERAL DEMO NOTES

- AREAS INDICATED FOR DEMOLITION SHALL HAVE ALL PARTITIONS, CEILING, FINISHES, ACCESSORIES, MILLWORK, ELECTRICAL, MECHANICAL AND PLUMBING AND ALL OTHER IMPROVEMENTS REMOVED EXCEPT TO THE EXTENT THEY ARE INDICATED TO REMAIN.
- REFER TO MEP DRAWINGS FOR NOTES ABOUT PENETRATIONS OF EXISTING FLOORS. ALL HOLES SHALL BE CUT TO AVOID REINFORCEMENT.
- PENETRATIONS OF EXISTING WALLS AND PARTITIONS SHALL BE CUT CLEANLY AND PATCHED WITH THE SAME MATERIAL. APPROPRIATE FIRE STOPPING SHALL BE APPLIED TO ALL RATED FLOORS AND WALLS DISTURBED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL CONSTRUCTION INCLUDING SLAB, WALLS AND CEILINGS IN THE AREAS OF DEMOLITION AS NECESSARY TO ACCOMMODATE NEW WORK AND FINISHES. THIS INCLUDES PATCHING HOLES, FILLING DEPRESSIONS, LEVELING SURFACES AND SIMILAR WORK AS NEEDED TO MAKE REPAIRED SURFACES.
- REMOVE EXISTING WALLCOVERING AND PATCH DRYWALL THROUGHOUT.
- REMOVE CARPET THROUGHOUT.
- REMOVE CEILING GRID AND TILE THROUGHOUT.
- GC TO COORDINATE WITH OWNER'S PROJECT MANAGER AS TO WHAT REMOVED ITEMS ARE TO BE INVENTORIED AND ACCOUNTED FOR PRIOR TO DISCARDING.
- GC RESPONSIBLE FOR KEEPING PROJECT CLEAN AT ALL TIMES.
- MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, FIREPROOFING, SECURITY FIRE SUPPRESSION, ETC. FOR ALL ITEMS OR PARTS OF ITEMS TO REMAIN.
- GC TO REMOVE EXISTING LIGHT FIXTURES, J-BOX WIRING AND CONDUIT THAT IS NOT REUSED OR ABANDONED.
- GC SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK.
- PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO, EXISTING EXTERIOR WALL ASSEMBLY, FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONVECTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
- REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS APPURTENANCES CONNECTED WITH THE ITEMS BEING REMOVED. FLOOR FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR EXTENT OF NEW FINISHES TO DETERMINE WHERE EXISTING FINISHES ARE TO BE REMOVED. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATION IS REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH, LEVEL FINISH. PREPARE ALL WALLS FOR NEW FINISHES AS INDICATED IN FINISH PLANS.

DEMOLITION NOTES

- | | |
|---|---|
| DN-1 REMOVE ALL EXISTING LOCKERS. | DN-5 REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PLUMBING. |
| DN-2 REMOVE ALL EXISTING FLOOR FINISH AND PREPARE FOR NEW. | DN-6 FILL EXISTING FLOOR DRAIN APPROPRIATELY. |
| DN-3 DEMOLISH EXISTING WALL. | DN-7 DEMOLISH EXISTING CMU BLOCK BENCH. |
| DN-4 REMOVE EXISTING RESTROOM PARTITION DIVIDERS AND HARDWARE ASSOCIATED. | DN-8 INFILL EXISTING OPENING WITH CMU BLOCK, PAINT TO MATCH NEW FINISH. |
| | DN-9 DEMO EXISTING WALL FINISH AS SPECIFIED. |

PLAN LEGEND



A7 A200 **Baseball Locker Room and Restroom Demo**
A101 1/4" = 1'-0"

Exhibit D

A15 A200 **Baseball Locker Room and Restroom**
A101 1/4" = 1'-0"



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1001 Carter Street - Chattanooga - 37402
423 | 266 | 4816 www.dhw-architects.com

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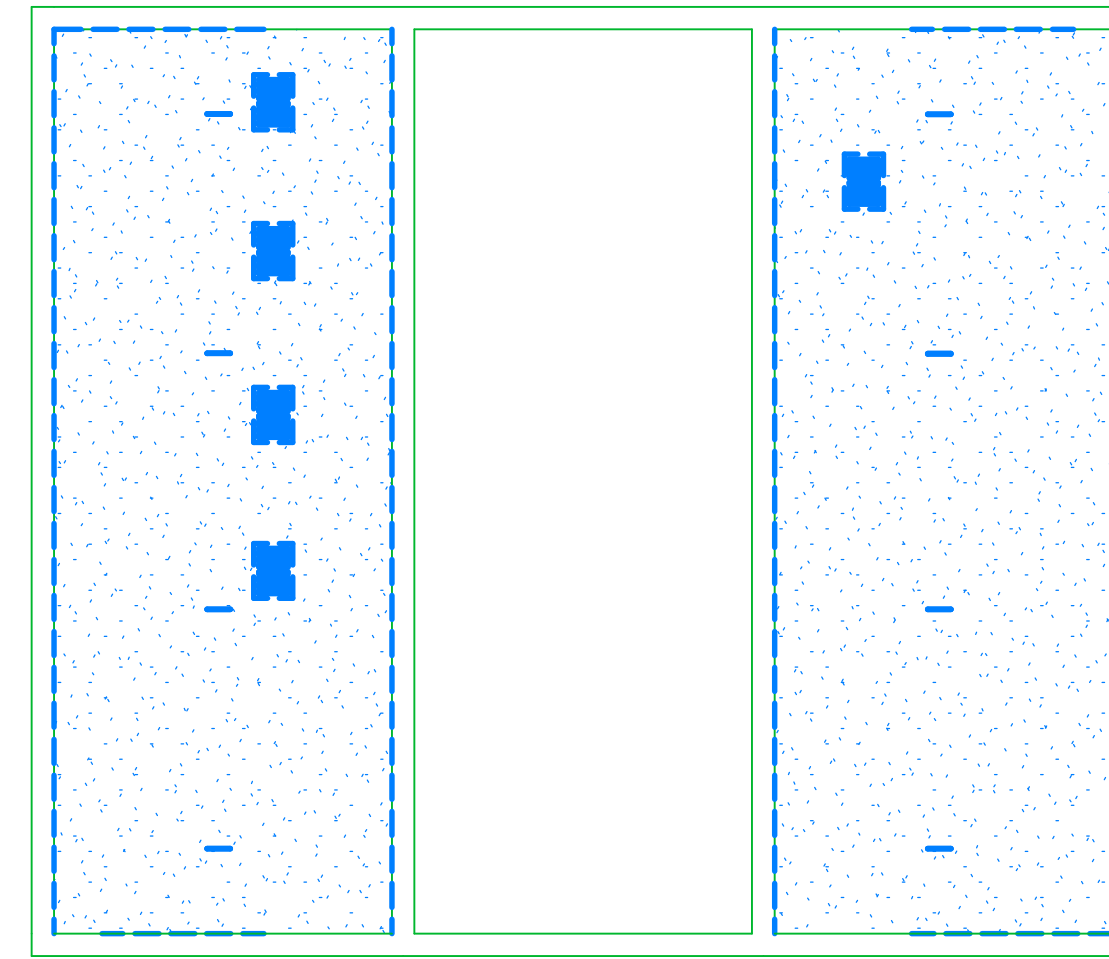
PRELIMINARY PRICING

Title:
Baseball Locker Room and Restroom

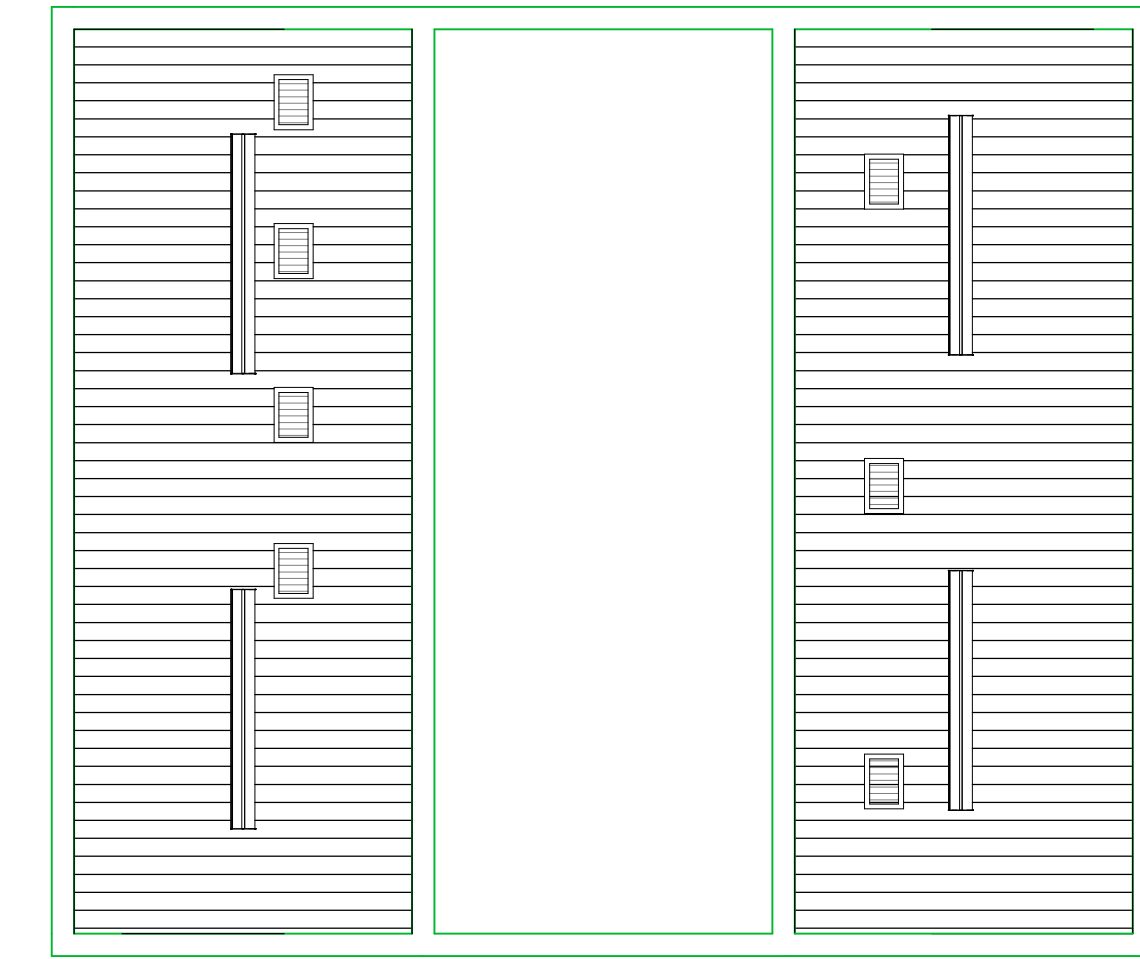
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Sheet No.

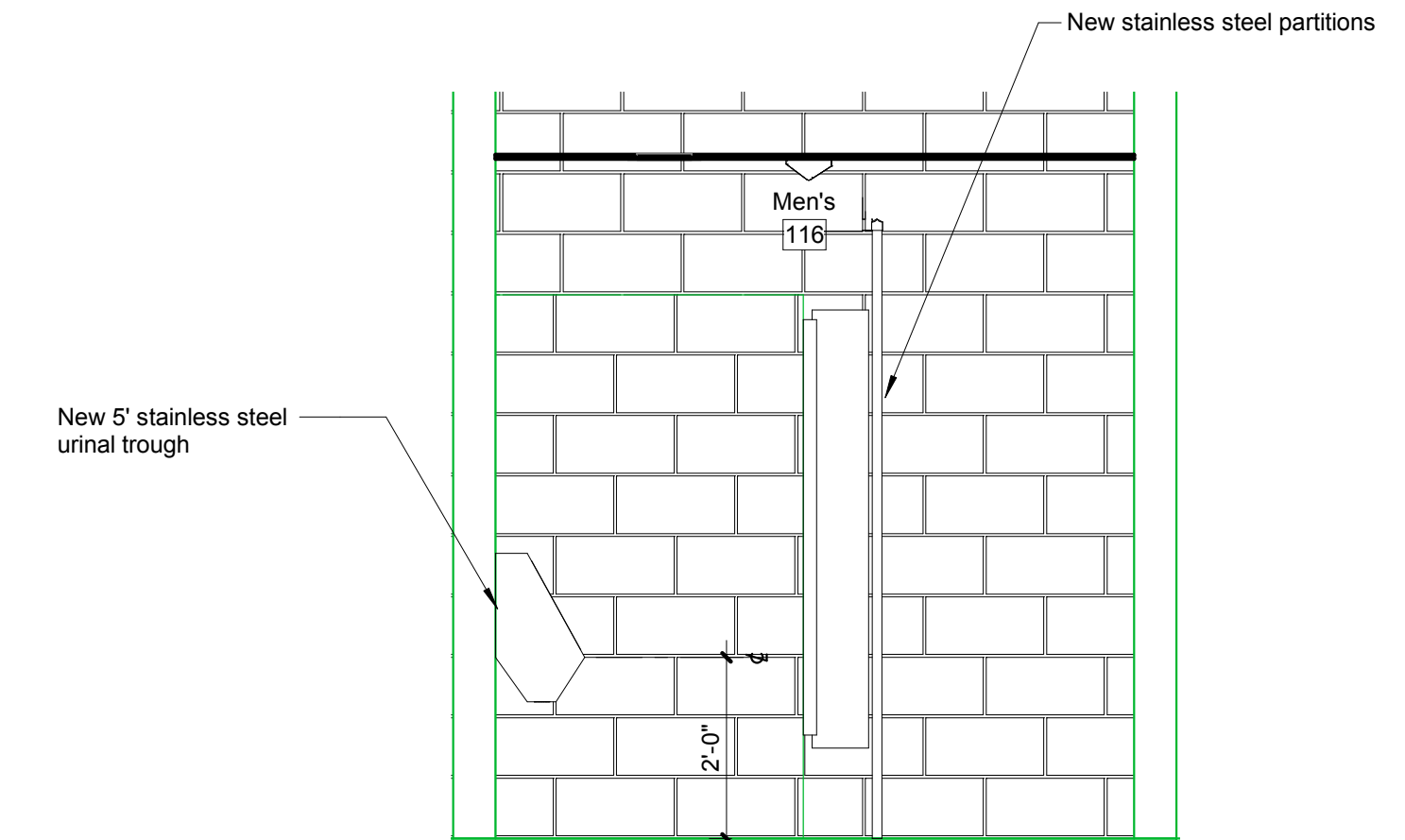
A101



H11 A200 **Baseball Public Restroom Demo RCP**
A102 1/4" = 1'-0"



H15 A200 **Baseball Public Restroom Existing RCP**
A102 1/4" = 1'-0"



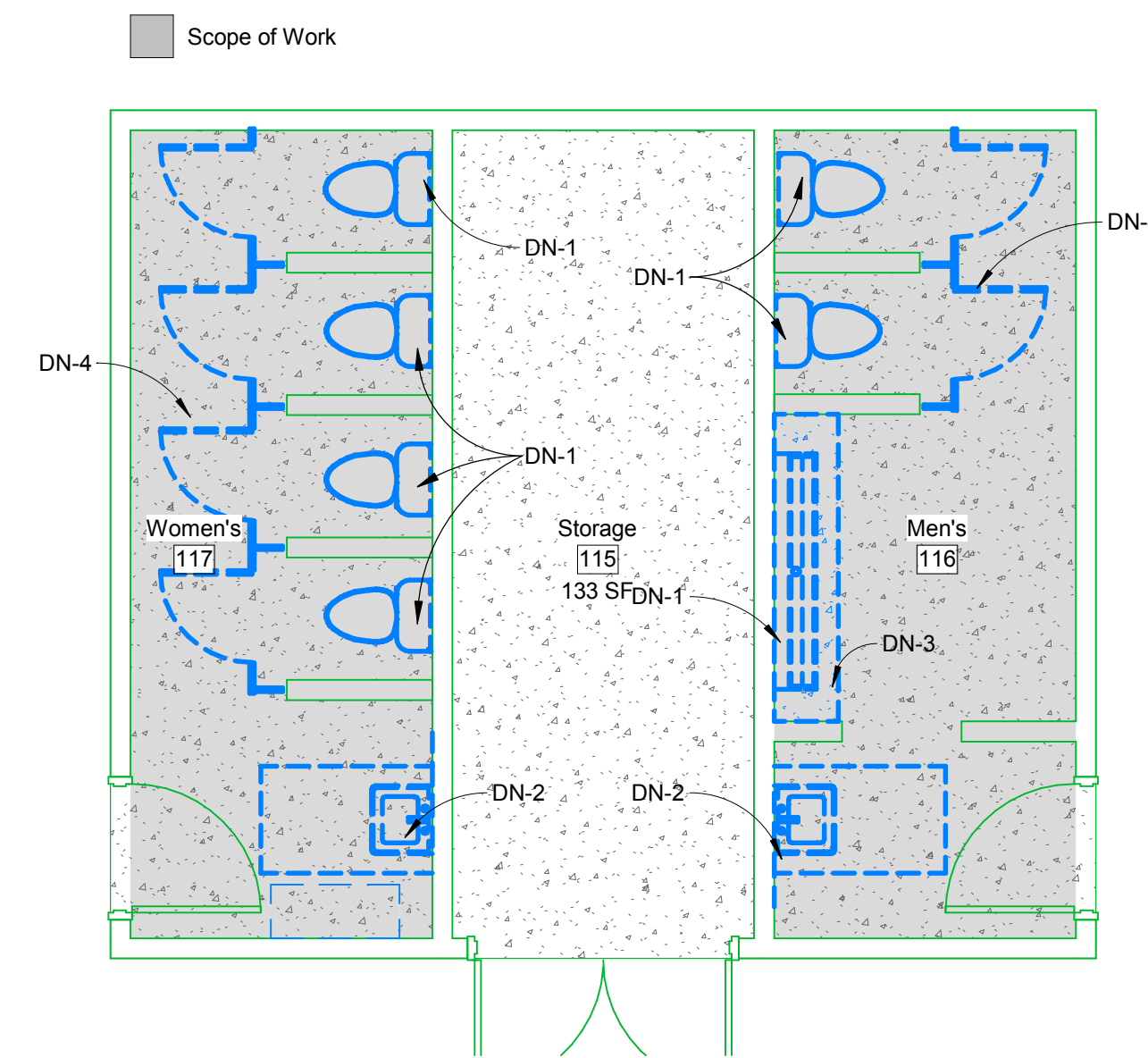
E15 A102 **Section Through Urinal Men's Bathroom 116**
A102 1/2" = 1'-0"

GENERAL DEMO NOTES

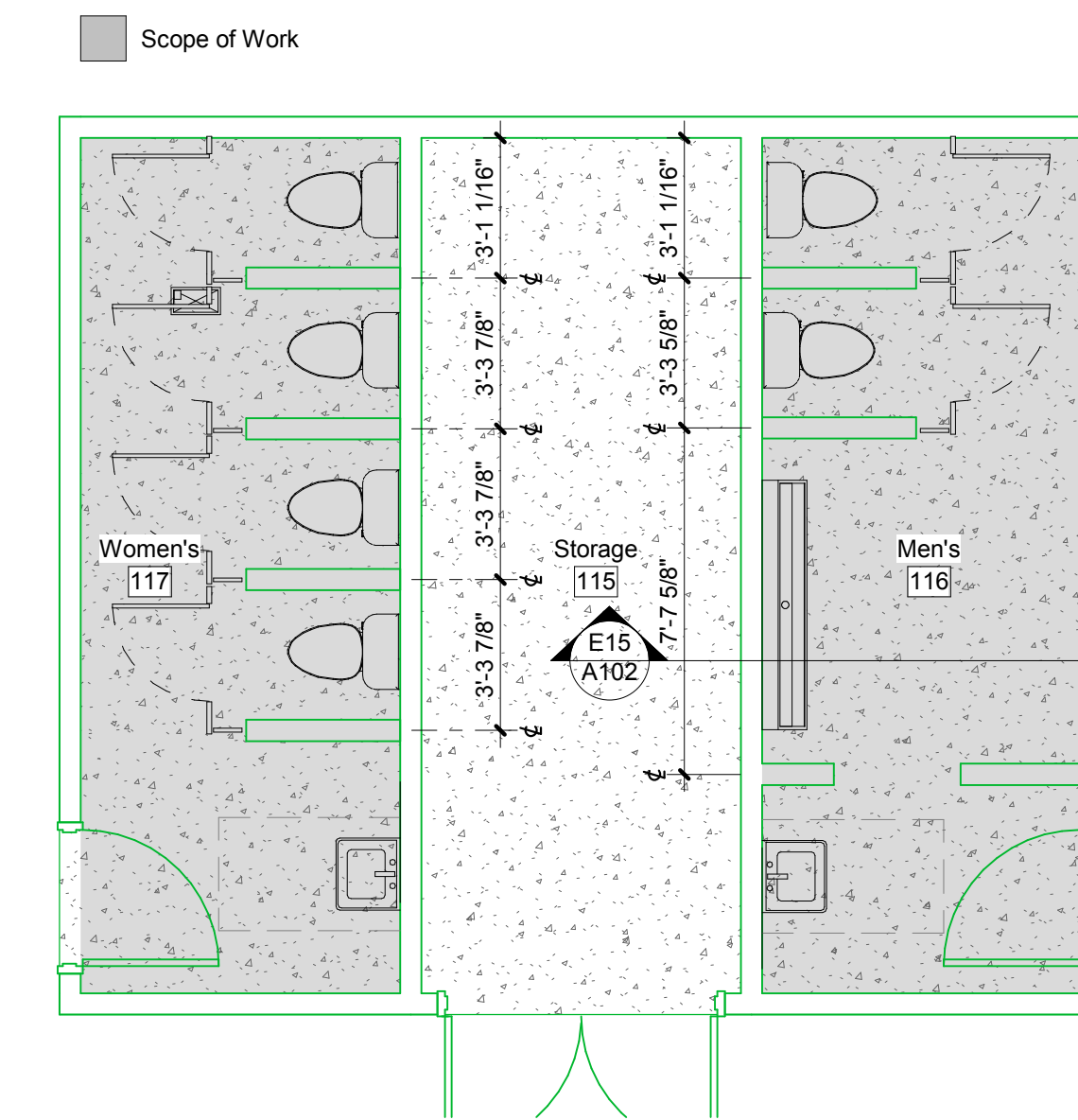
- AREAS INDICATED FOR DEMOLITION SHALL HAVE ALL PARTITIONS, CEILING, FINISHES, ACCESSORIES, MILLOWORK, ELECTRICAL, MECHANICAL AND PLUMBING AND ALL OTHER IMPROVEMENTS REMOVED EXCEPT TO THE EXTENT THEY ARE INDICATED TO REMAIN.
- REFER TO MEP DRAWINGS FOR NOTES ABOUT PENETRATIONS OF EXISTING FLOORS. ALL HOLES SHALL BE CUT TO AVOID REINFORCEMENT.
- PENETRATIONS OF EXISTING WALLS AND PARTITIONS SHALL BE CUT CLEANLY AND PATCHED WITH THE SAME MATERIAL. APPROPRIATE FIRE STOPPING SHALL BE APPLIED TO ALL RATED FLOORS AND WALLS DISTURBED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL CONSTRUCTION INCLUDING SLAB, WALLS AND CEILINGS IN THE AREAS OF DEMOLITION AS NECESSARY TO ACCOMMODATE NEW WORK AND FINISHES. THIS INCLUDES PATCHING HOLES, FILLING DEPRESSIONS, LEVELING SURFACES AND SIMILAR WORK AS NEEDED TO MAKE REPAIRED SURFACES.
- REMOVE EXISTING WALLCOVERING AND PATCH DRYWALL THROUGHOUT.
- REMOVE CARPET THROUGHOUT.
- REMOVE CEILING GRID AND TILE THROUGHOUT.
- GC TO COORDINATE WITH OWNER'S PROJECT MANAGER AS TO WHAT REMOVED ITEMS ARE TO BE INVENTORIED AND ACCOUNTED FOR PRIOR TO DISCARDING.
- GC RESPONSIBLE FOR KEEPING PROJECT CLEAN AT ALL TIMES.
- MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, FIREPROOFING, SECURITY FIRE SUPPRESSION, ETC. FOR ALL ITEMS OR PARTS OF ITEMS TO REMAIN.
- GC TO REMOVE EXISTING LIGHT FIXTURES, J-BOX WIRING AND CONDUIT THAT IS NOT REUSED OR ABANDONED.
- GC SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK.
- PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO, EXISTING EXTERIOR WALL ASSEMBLY, FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONVECTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
- REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS APPURTENANCES CONNECTED WITH THE ITEMS BEING REMOVED. FLOOR FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR EXTENT OF NEW FINISHES TO DETERMINE WHERE EXISTING FINISHES ARE TO BE REMOVED. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATION IS REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH, LEVEL FINISH. PREPARE ALL WALLS FOR NEW FINISHES AS INDICATED IN FINISH PLANS.

DEMOLITION NOTES

DN-1	DEMOLISH EXISTING PLUMBING FIXTURES AND PREPARE FOR NEW.	DN-3	DEMOLISH EXISTING RAISED SLAB AND PATCH FLOOR AS NECESSARY.
DN-2	DEMOLISH EXISTING SINK FIXTURES AND PREPARE FOR NEW.	DN-4	REMOVE EXISTING STAINLESS STEEL PARTITIONS AND PREPARE FOR NEW.



A11 A200 **Baseball Restrooms Demo**
A102 1/4" = 1'-0"

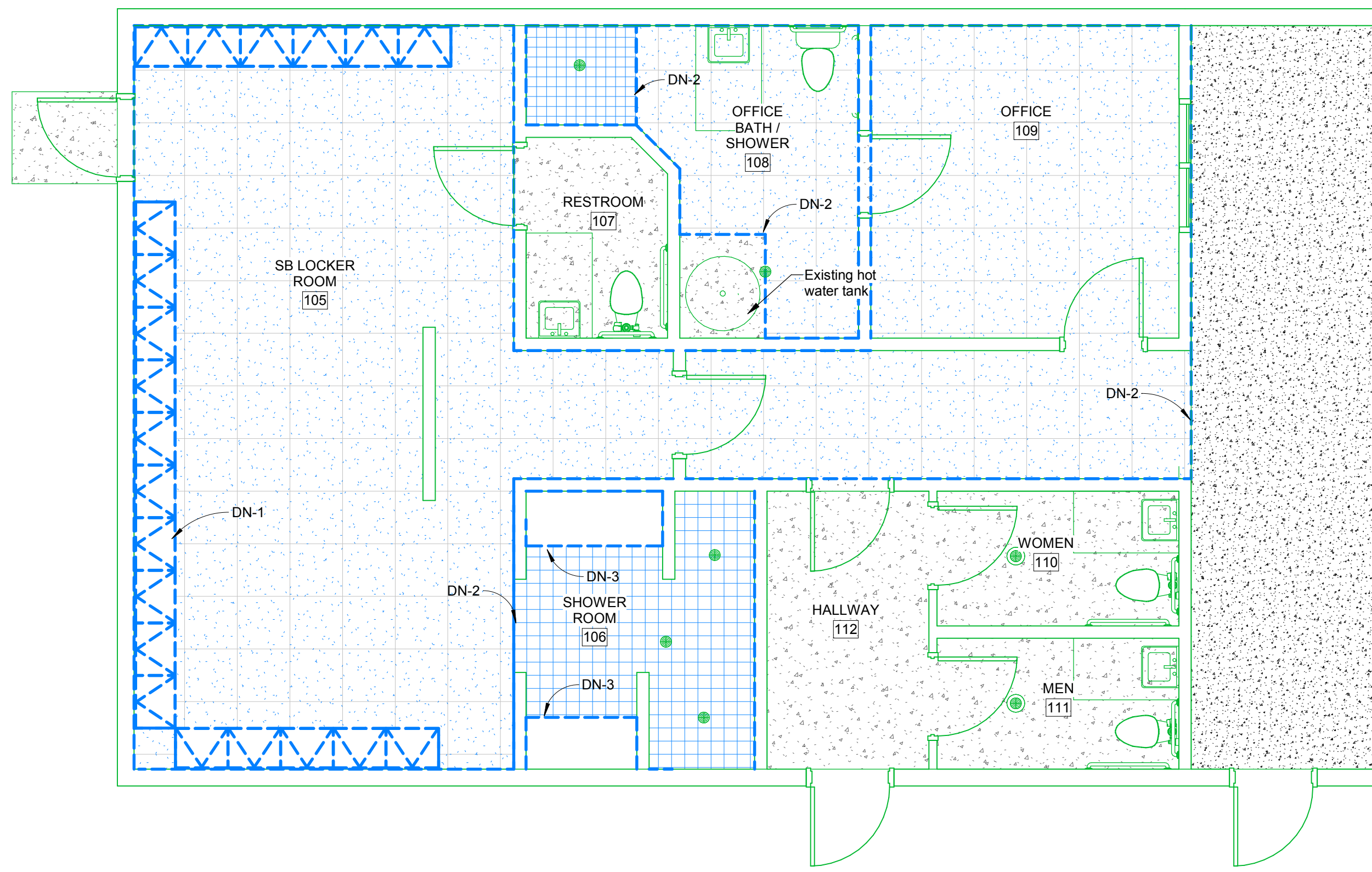


A15 A200 **Baseball Restrooms**
A102 1/4" = 1'-0"

GENERAL DEMO NOTES

- AREAS INDICATED FOR DEMOLITION SHALL HAVE ALL PARTITIONS, CEILING, FINISHES, ACCESSORIES, MILLWORK, ELECTRICAL, MECHANICAL AND PLUMBING AND ALL OTHER IMPROVEMENTS REMOVED EXCEPT TO THE EXTENT THEY ARE INDICATED TO REMAIN.
- REFER TO MEP DRAWINGS FOR NOTES ABOUT PENETRATIONS OF EXISTING FLOORS. ALL HOLES SHALL BE CUT TO AVOID REINFORCEMENT.
- PENETRATIONS OF EXISTING WALLS AND PARTITIONS SHALL BE CUT CLEANLY AND PATCHED WITH THE SAME MATERIAL. APPROPRIATE FIRE STOPPING SHALL BE APPLIED TO ALL RATED FLOORS AND WALLS DISTURBED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL CONSTRUCTION INCLUDING SLAB, WALLS AND CEILINGS IN THE AREAS OF DEMOLITION AS NECESSARY TO ACCOMMODATE NEW WORK AND FINISHES. THIS INCLUDES PATCHING HOLES, FILLING DEPRESSIONS, LEVELING SURFACES AND SIMILAR WORK AS NEEDED TO MAKE REPAIRED SURFACES.
- REMOVE EXISTING WALLCOVERING AND PATCH DRYWALL THROUGHOUT.
- REMOVE CARPET THROUGHOUT.
- REMOVE CEILING GRID AND TILE THROUGHOUT.
- GC TO COORDINATE WITH OWNER'S PROJECT MANAGER AS TO WHAT REMOVED ITEMS ARE TO BE INVENTORIED AND ACCOUNTED FOR PRIOR TO DISCARDING.
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- MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, FIREPROOFING, SECURITY FIRE SUPPRESSION, ETC. FOR ALL ITEMS OR PARTS OF ITEMS TO REMAIN.
- GC TO REMOVE EXISTING LIGHT FIXTURES, J-BOX WIRING AND CONDUIT THAT IS NOT REUSED OR ABANDONED.
- GC SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK.
- PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO, EXISTING EXTERIOR WALL ASSEMBLY, FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONVICTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
- REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS APPURTENANCES CONNECTED WITH THE ITEMS BEING REMOVED. FLOOR FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR EXTENT OF NEW FINISHES TO DETERMINE WHERE EXISTING FINISHES ARE TO BE REMOVED. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATION IS REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH, LEVEL FINISH. PREPARE ALL WALLS FOR NEW FINISHES AS INDICATED IN FINISH PLANS.

DEMOLITION NOTES	
DN-1	REMOVE ALL EXISTING LOCKERS.
DN-2	REMOVE ALL EXISTING FLOOR FINISH AND PREPARE FOR NEW.
DN-3	REMOVE EXISTING COUNTERTOP AND PREPARE FOR NEW.



BATTING
113

G15	A200	Softball Batting and Locker Room Demo
A103	1/4" = 1'-0"	

Catoosa County Schools

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy,
Fort Oglethorpe, GA
30742

Date: 07/03/19
Drawn: LH
File: 8193-E

Revisions

Key Plan

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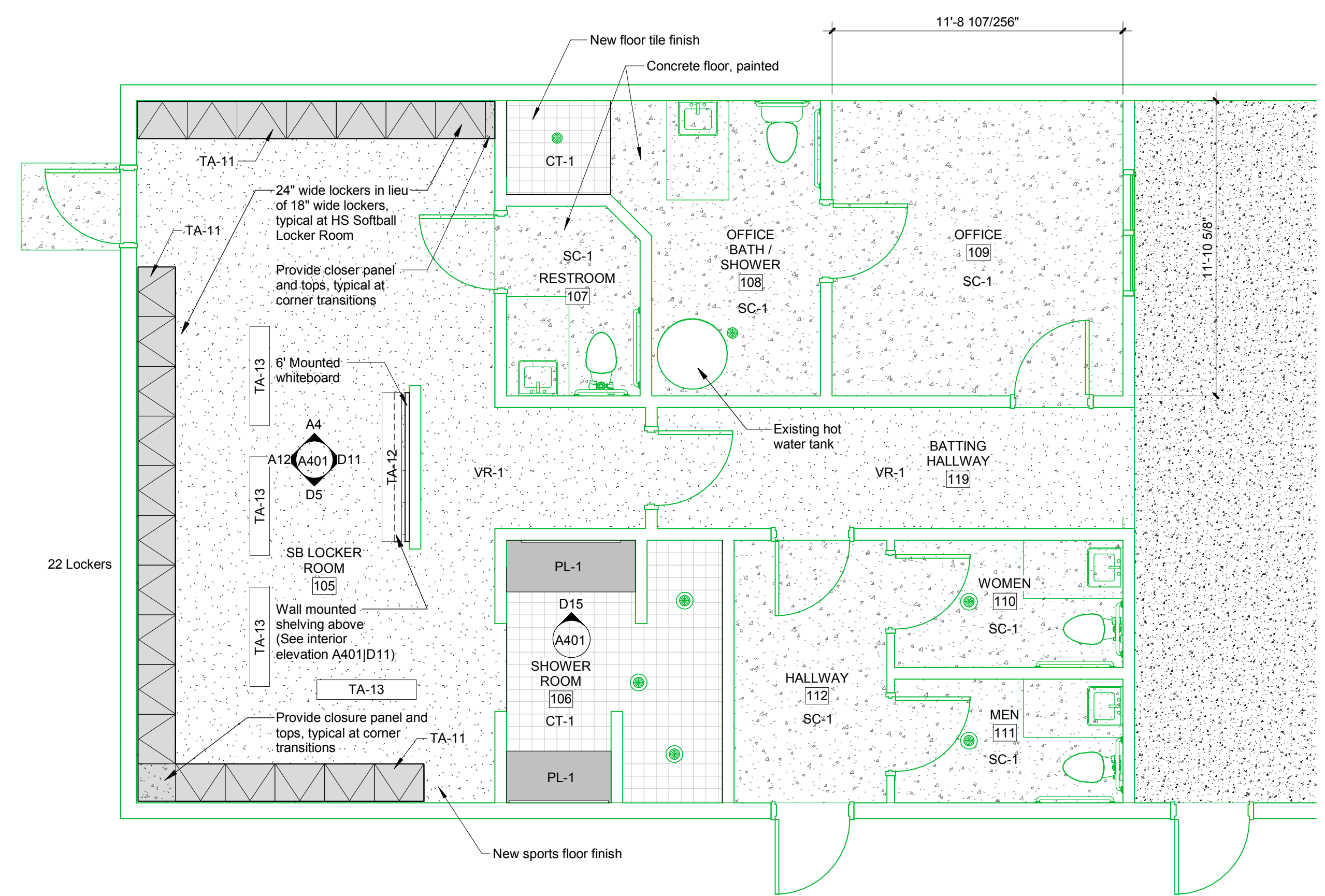
PRELIMINARY PRICING

Title:
Softball Locker Room and Restroom

Scale:

Sheet No.

A103



BATTING
113

A15	A200	Softball Batting and Locker Room
A103	1/4" = 1'-0"	

Catoosa County Schools

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy,
 Fort Oglethorpe, GA
 30742

Date: 05/23/19
 Drawn: Author
 File: 8193-E

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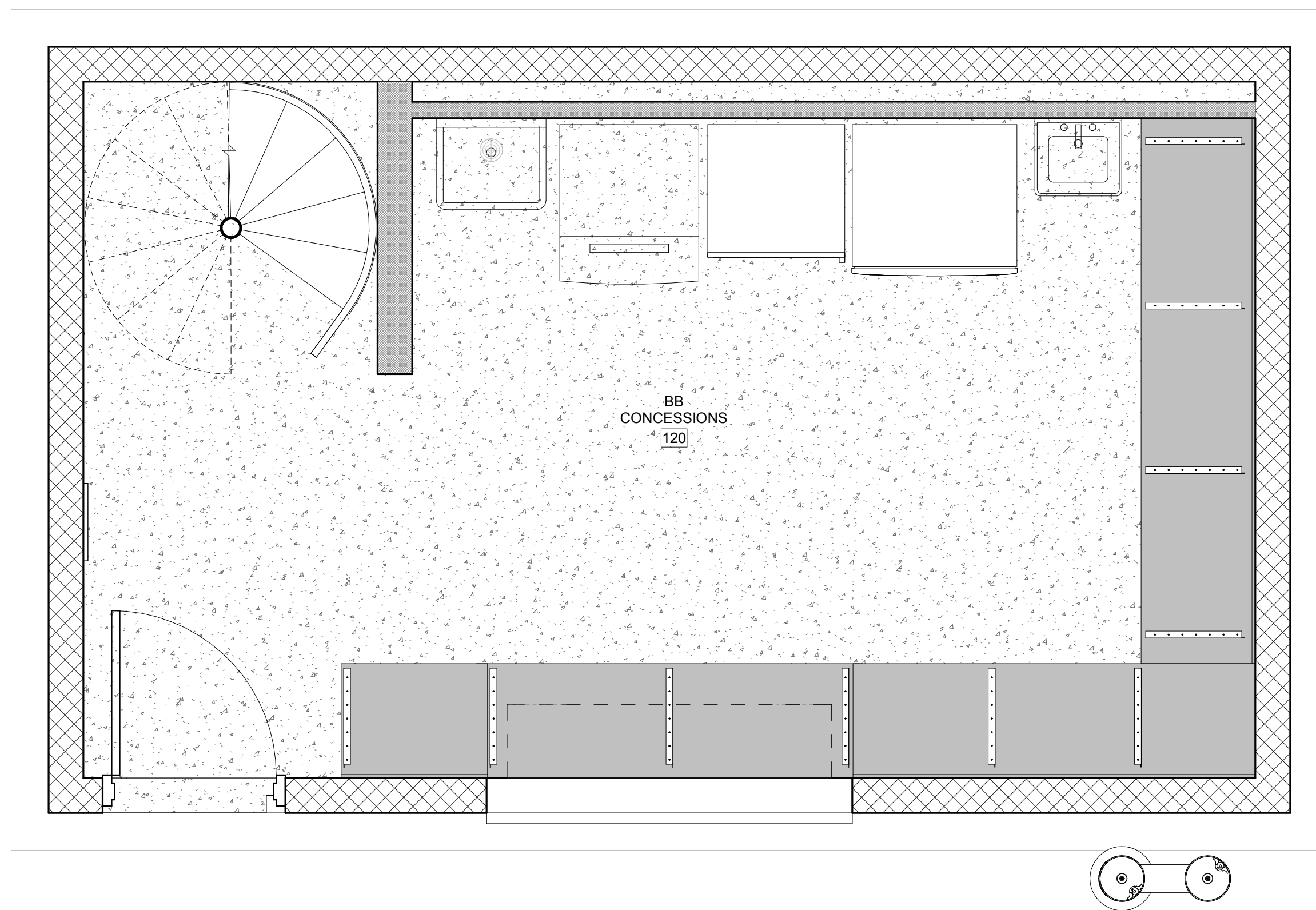
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BB Concessions and Press Box

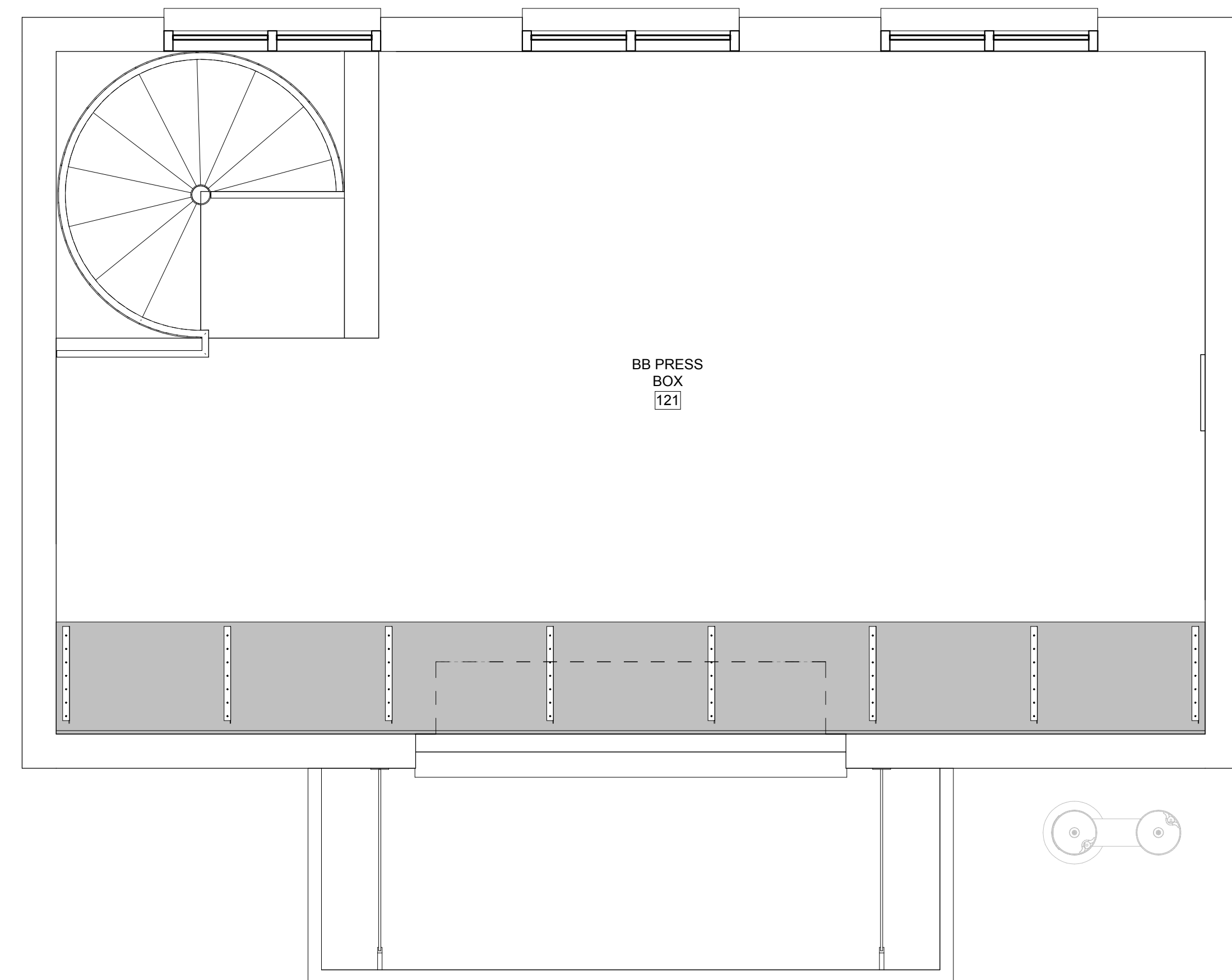
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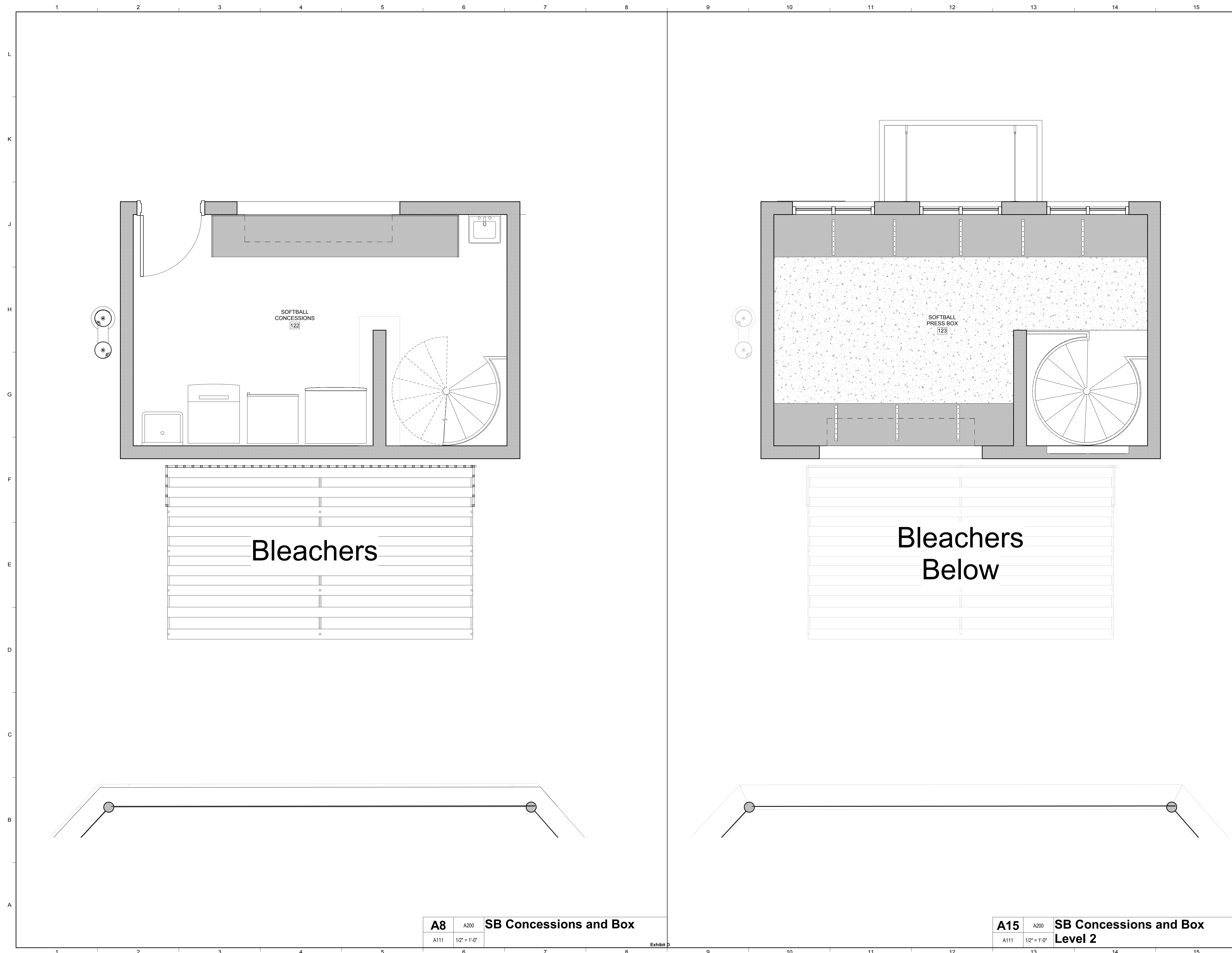
A110



A8	A200	BB Concessions and Box Lower Level
A110	1/2" = 1'-0"	



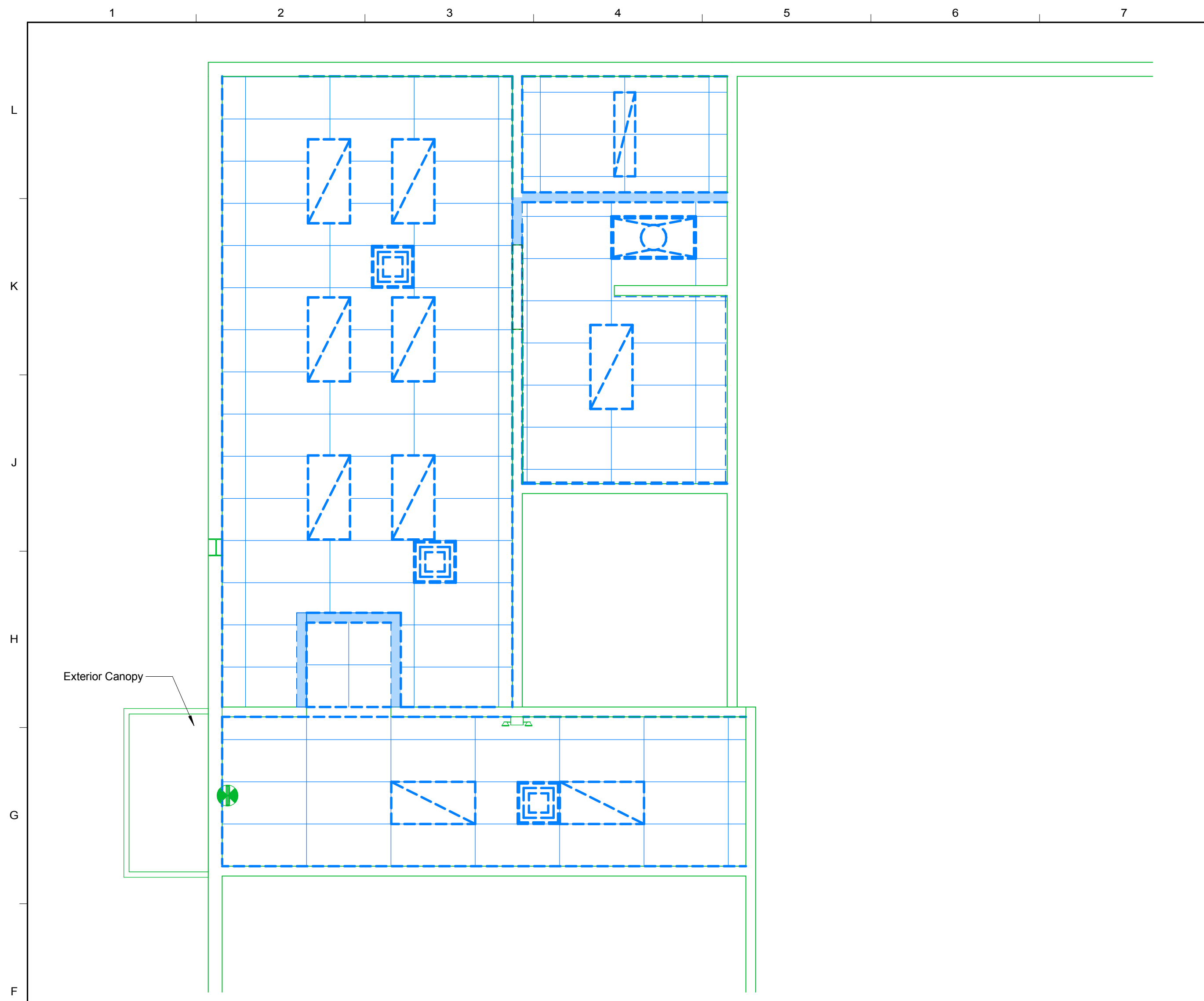
A15	A200	BB Concessions and Box Upper Level
A110	1/2" = 1'-0"	



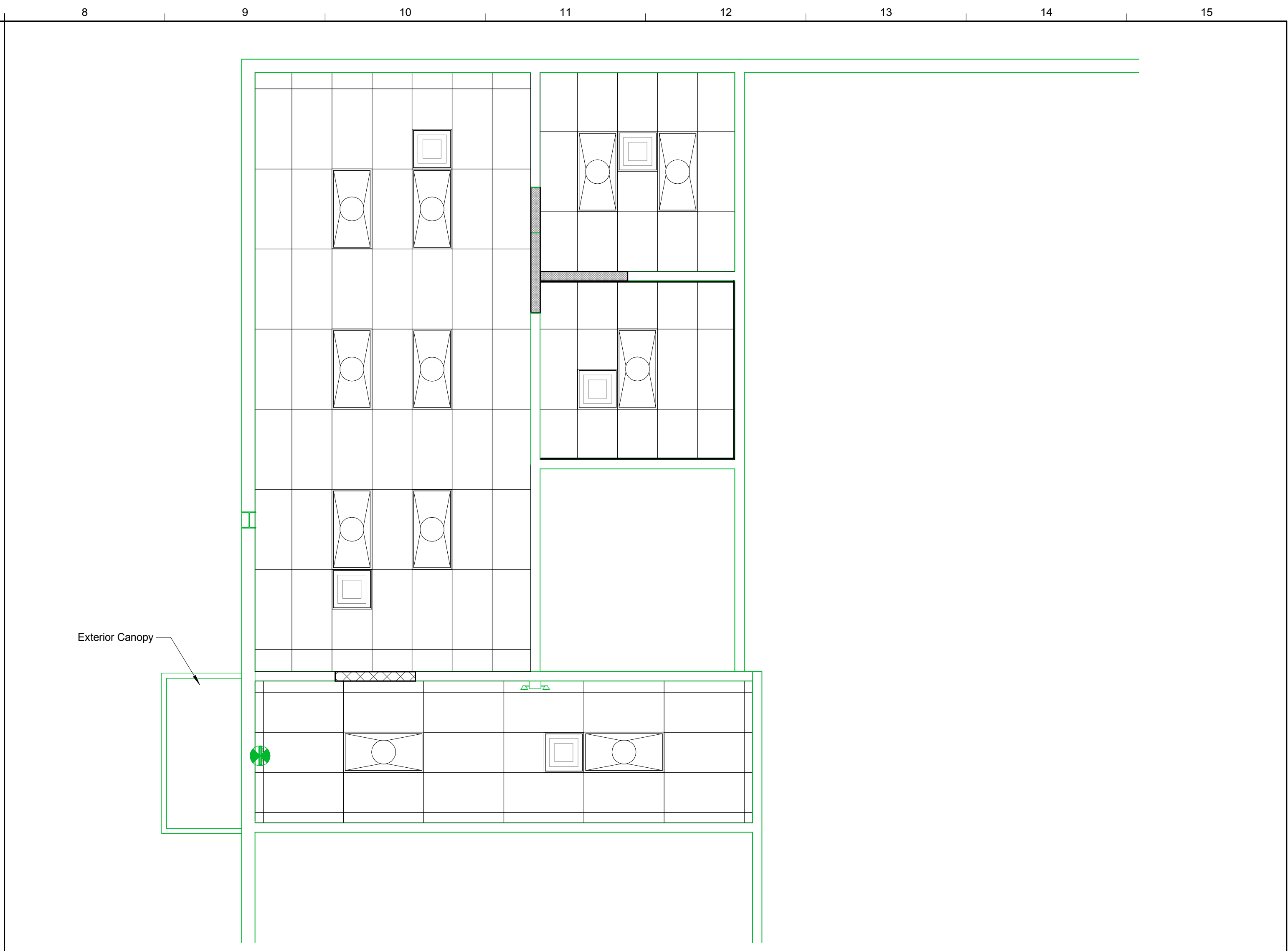
A8	A200	SB Concessions and Box
A111	1/2" = 1'-0"	

A15	A200	SB Concessions and Box Level 2
A111	1/2" = 1'-0"	

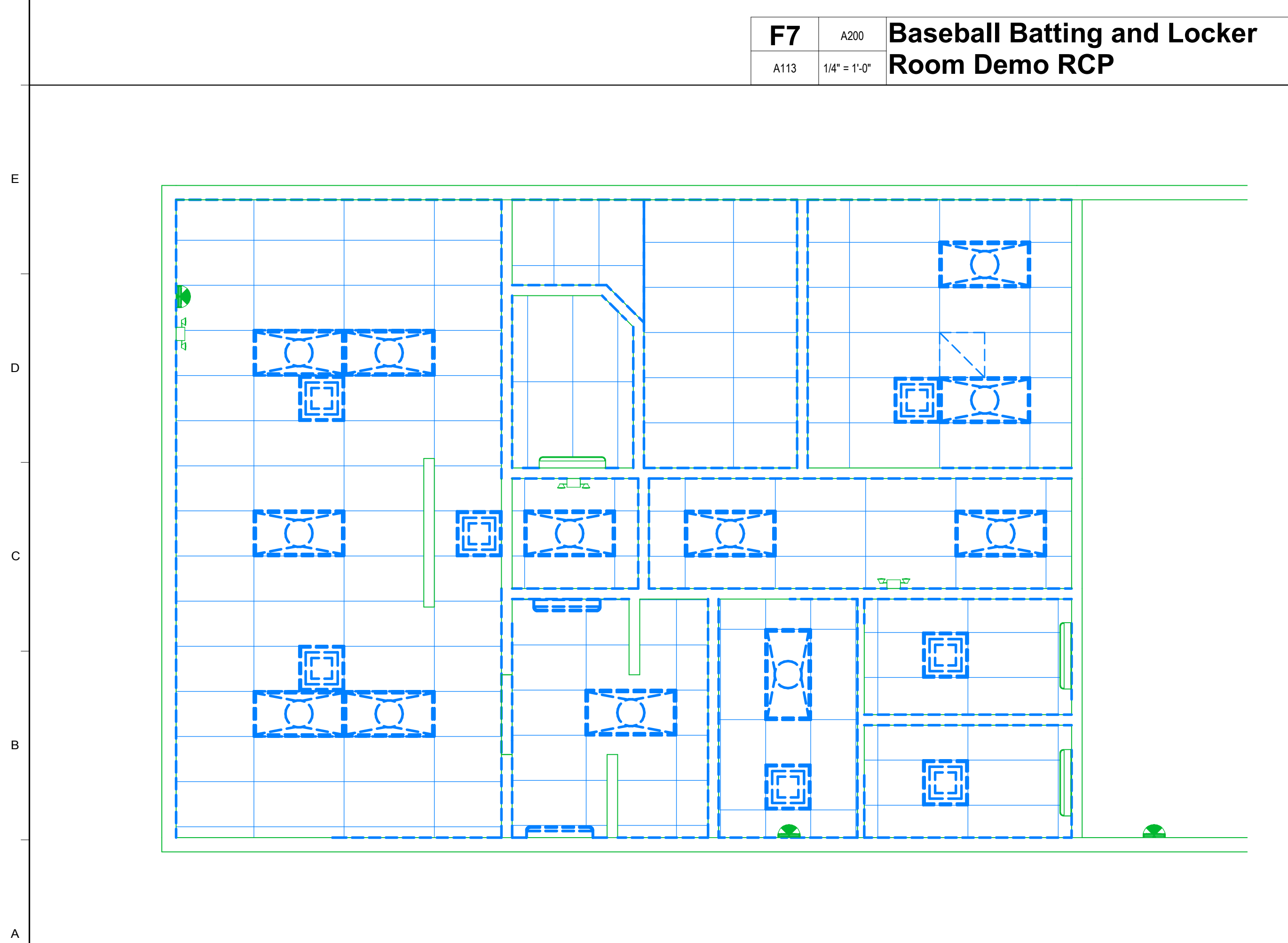
Exhibit D



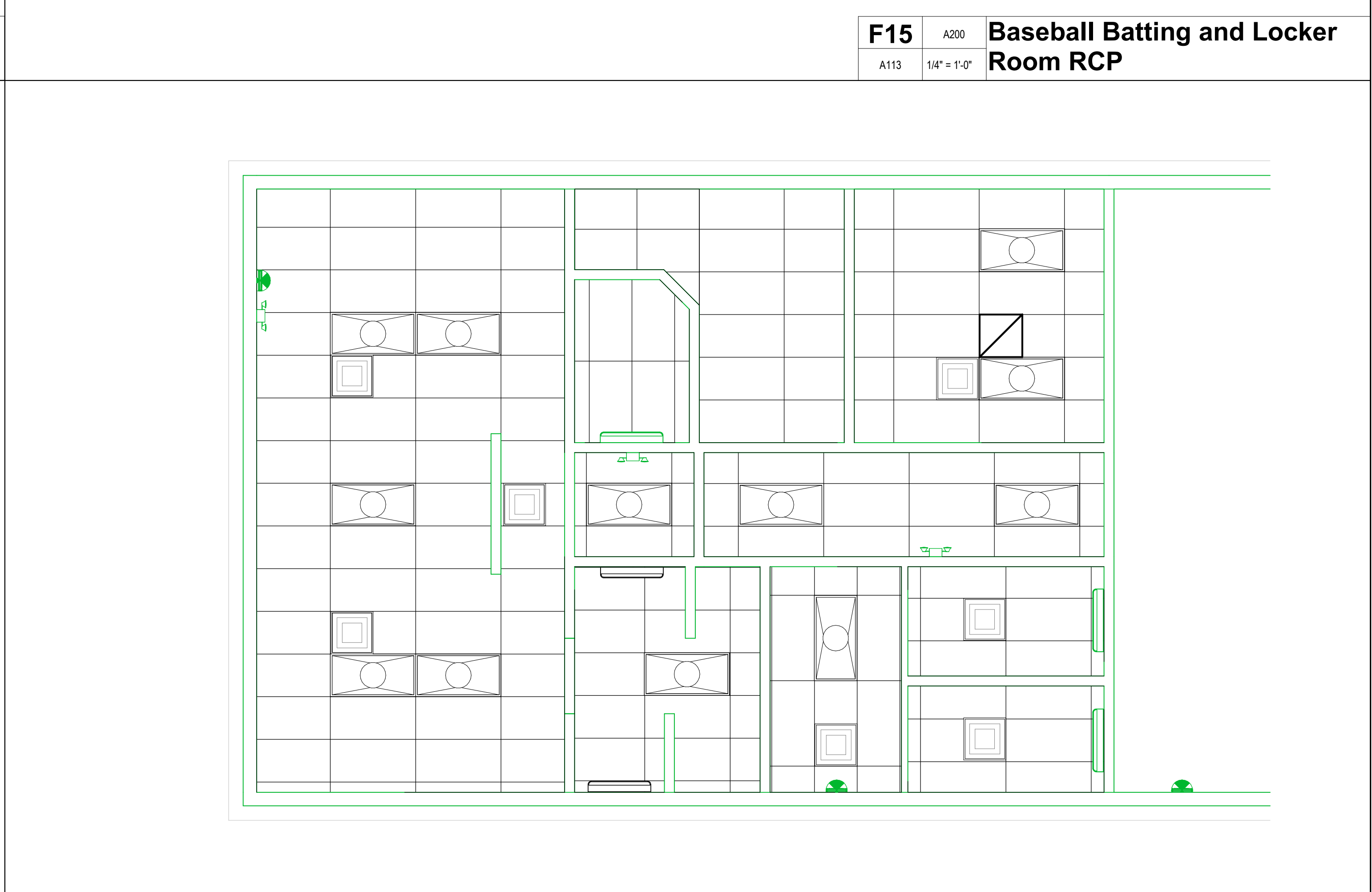
F7 A200 **Baseball Batting and Locker Room Demo RCP**
 A113 1/4" = 1'-0"



F15 A200 **Baseball Batting and Locker Room RCP**
 A113 1/4" = 1'-0"

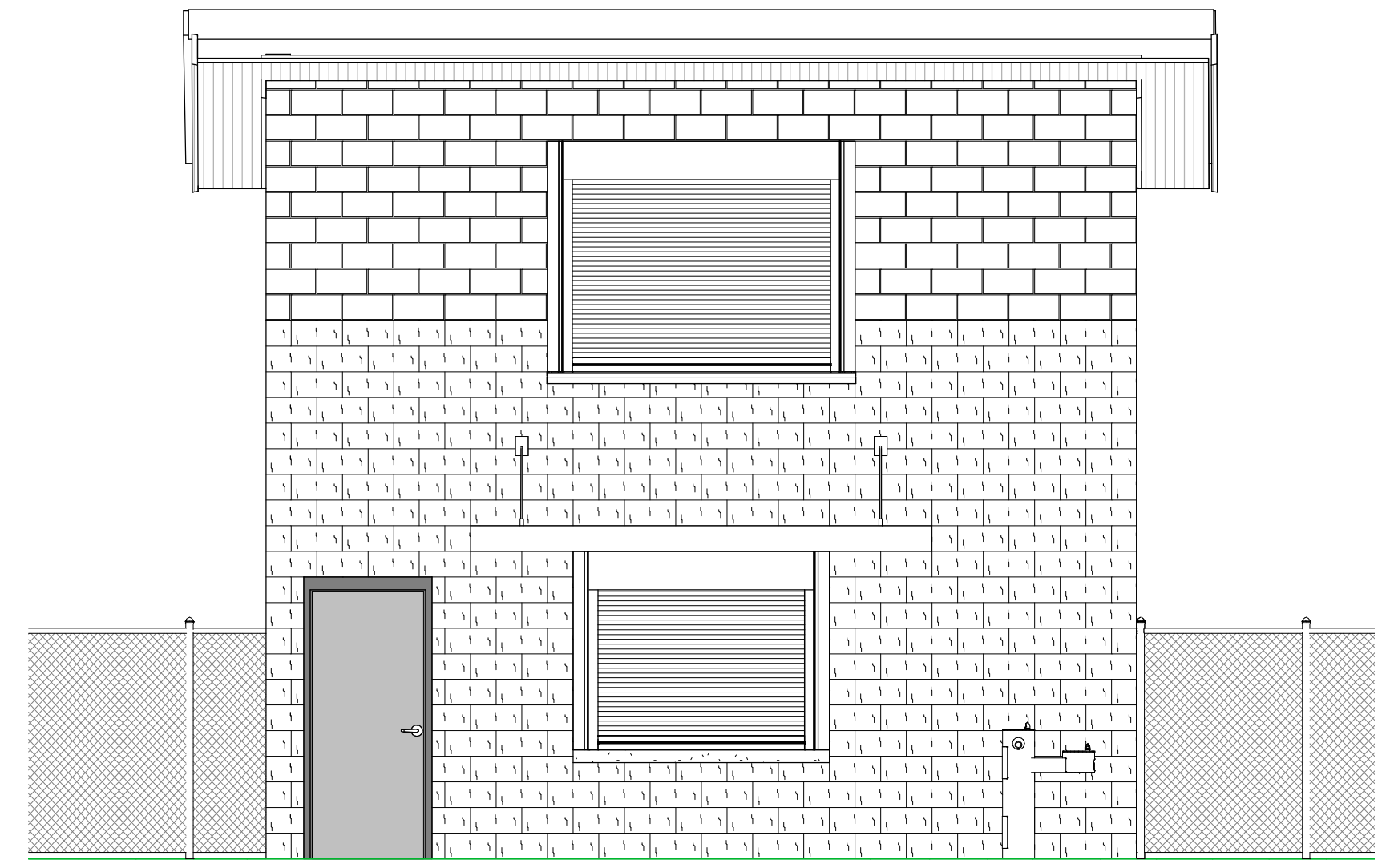


A7 A200 **Softball Batting and Locker Room Demo RCP**
 A113 1/4" = 1'-0"

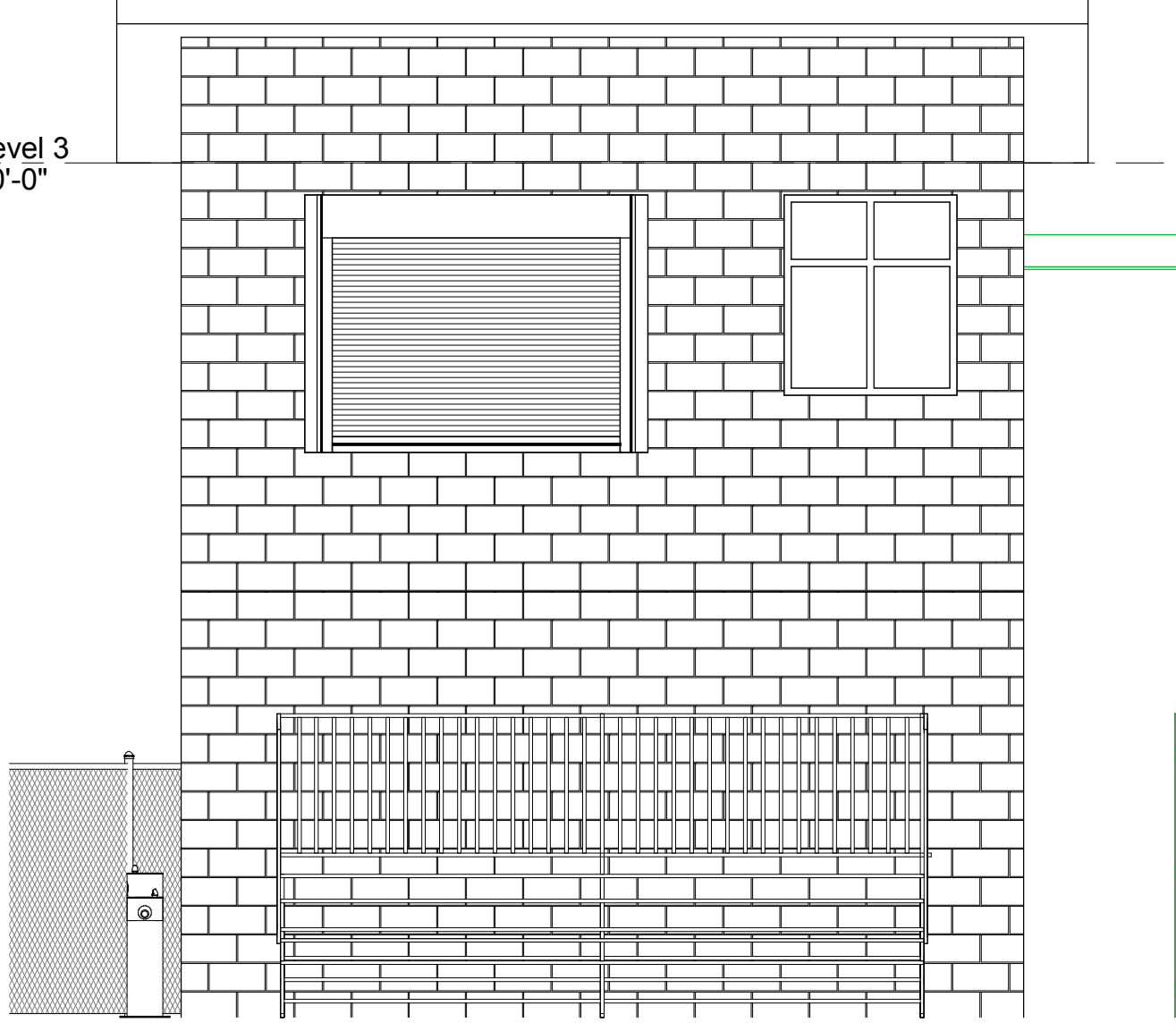


A15 A200 **Softball Batting and Locker Room RCP**
 A113 1/4" = 1'-0"

PRELIMINARY PRICING



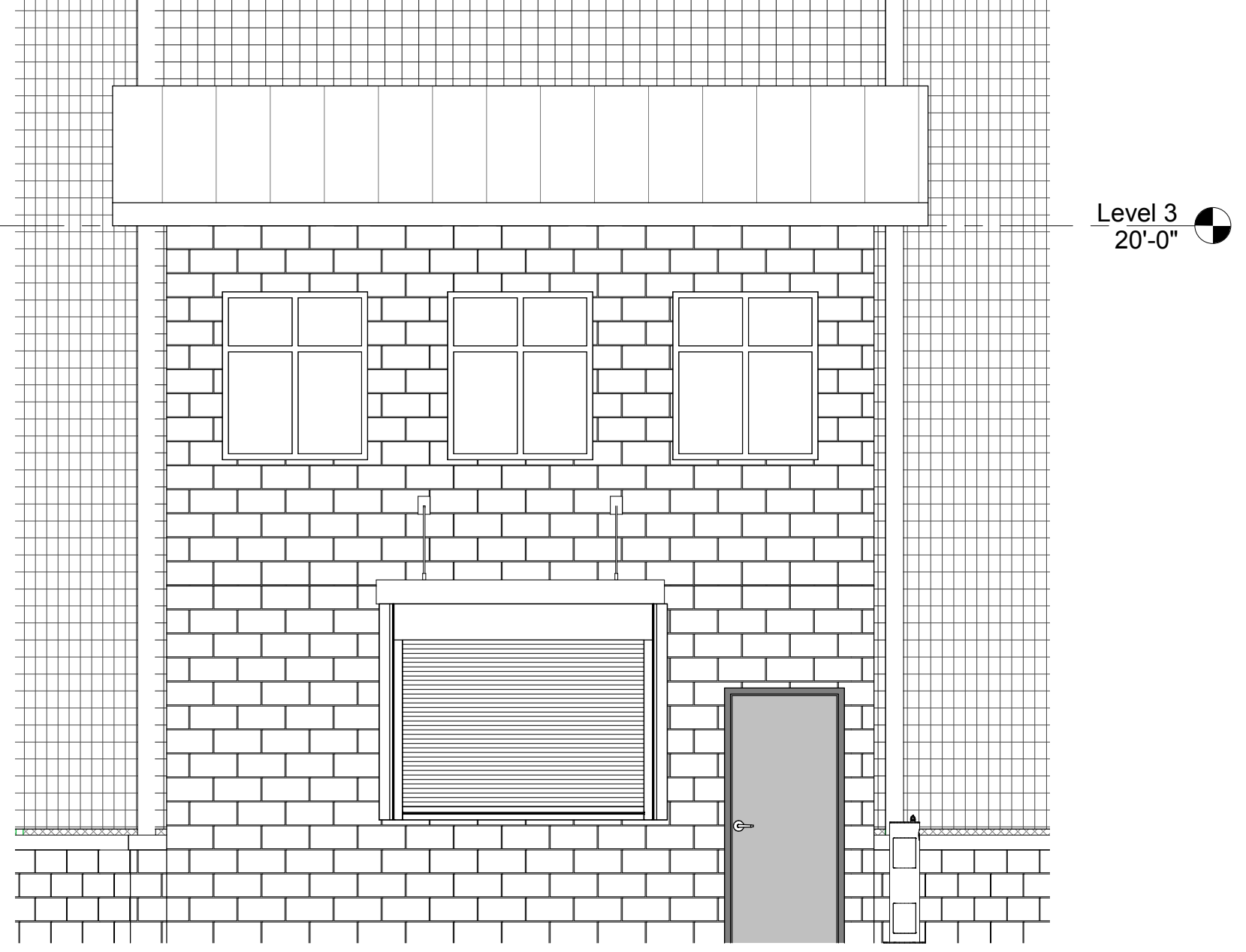
M15 A002 **Baseball Concessions - South Elevation**
 A200 1/4" = 1'-0"



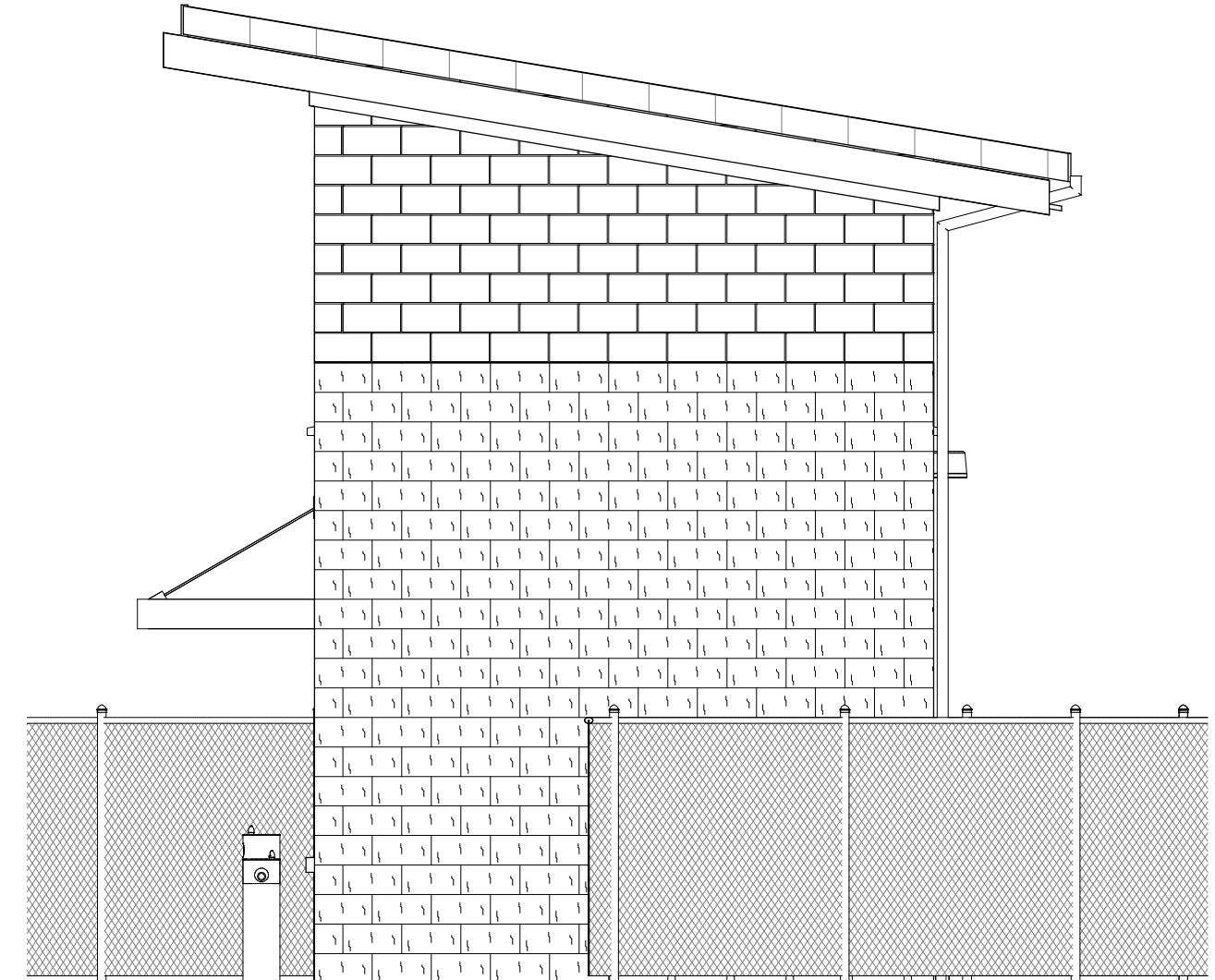
H10 A003 **Softball Concessions - West Elevation**
 A200 1/4" = 1'-0"



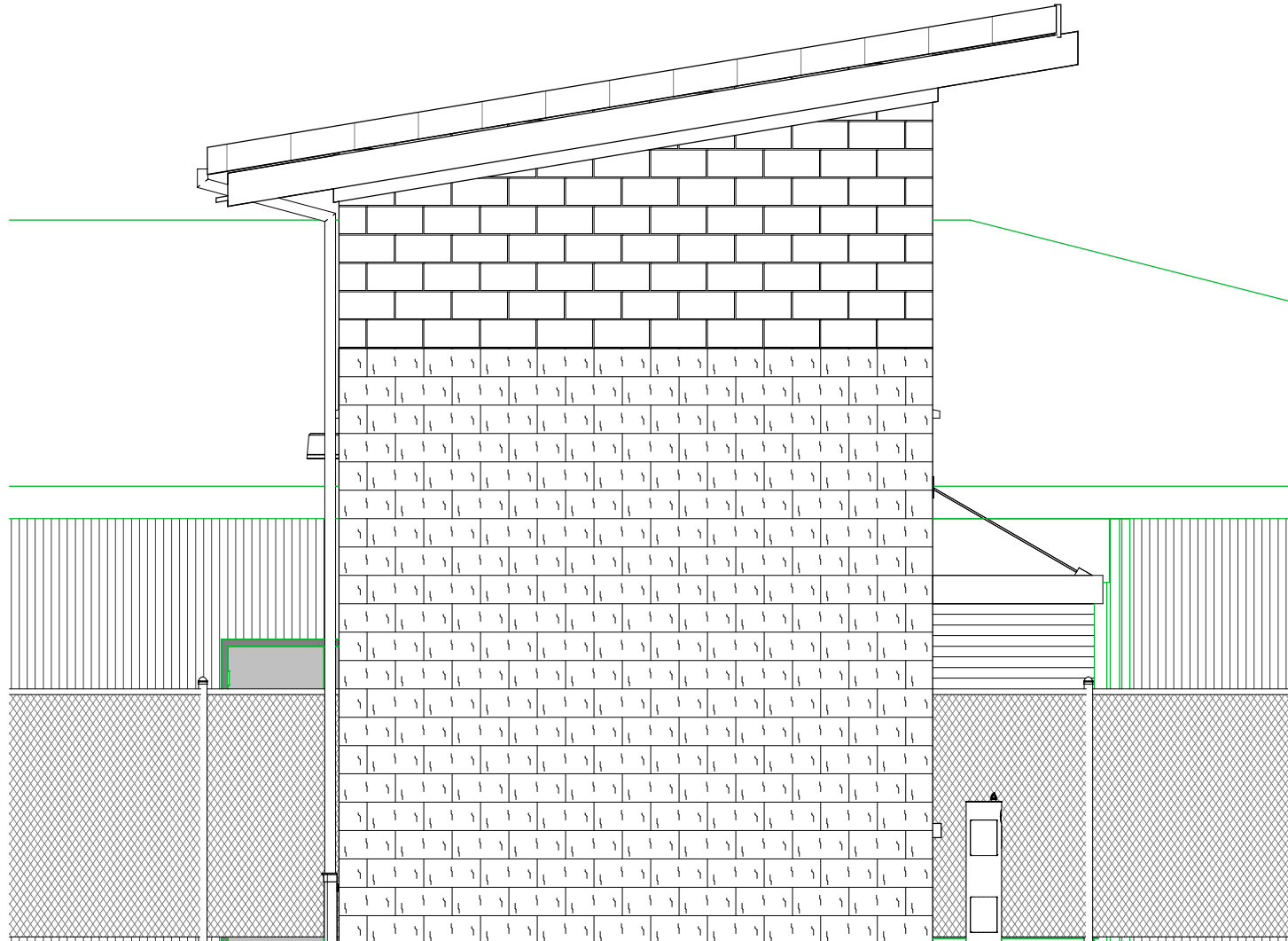
G15 A002 **Baseball Concessions - North Elevation**
 A200 1/4" = 1'-0"



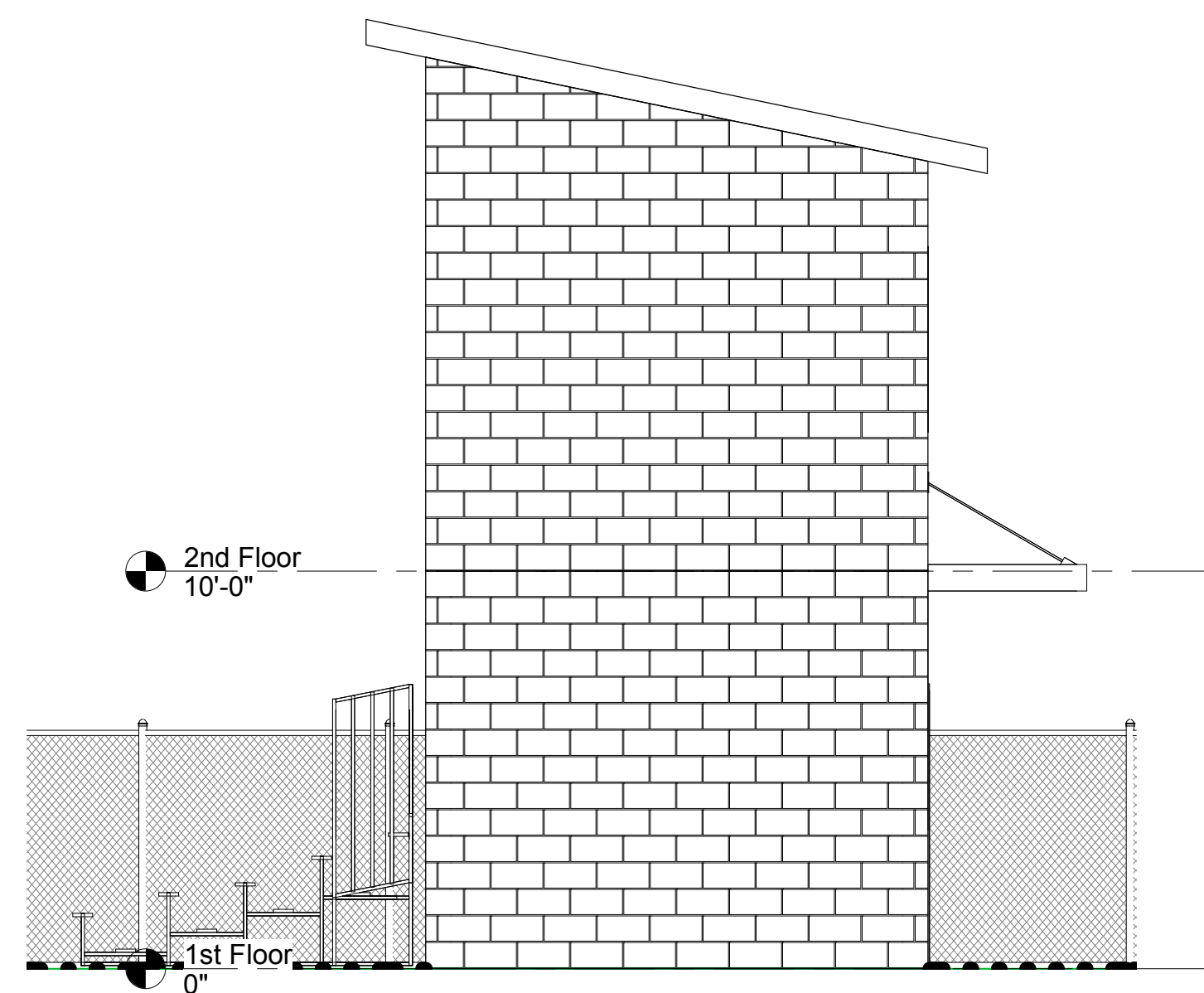
G10 A003 **Softball Concessions - East Elevation**
 A200 1/4" = 1'-0"



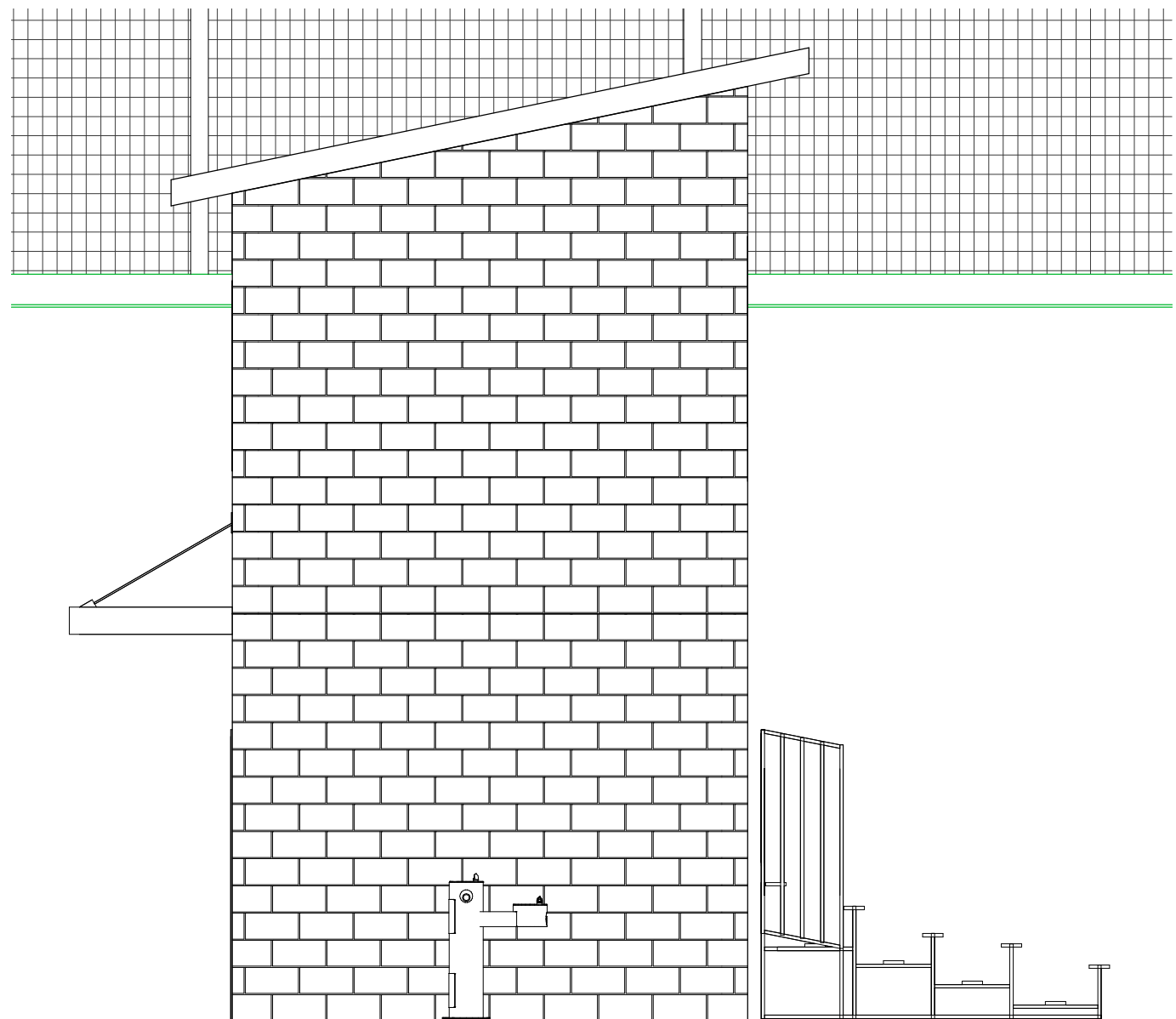
A15 A002 **Baseball Concessions - West Elevation**
 A200 1/4" = 1'-0"



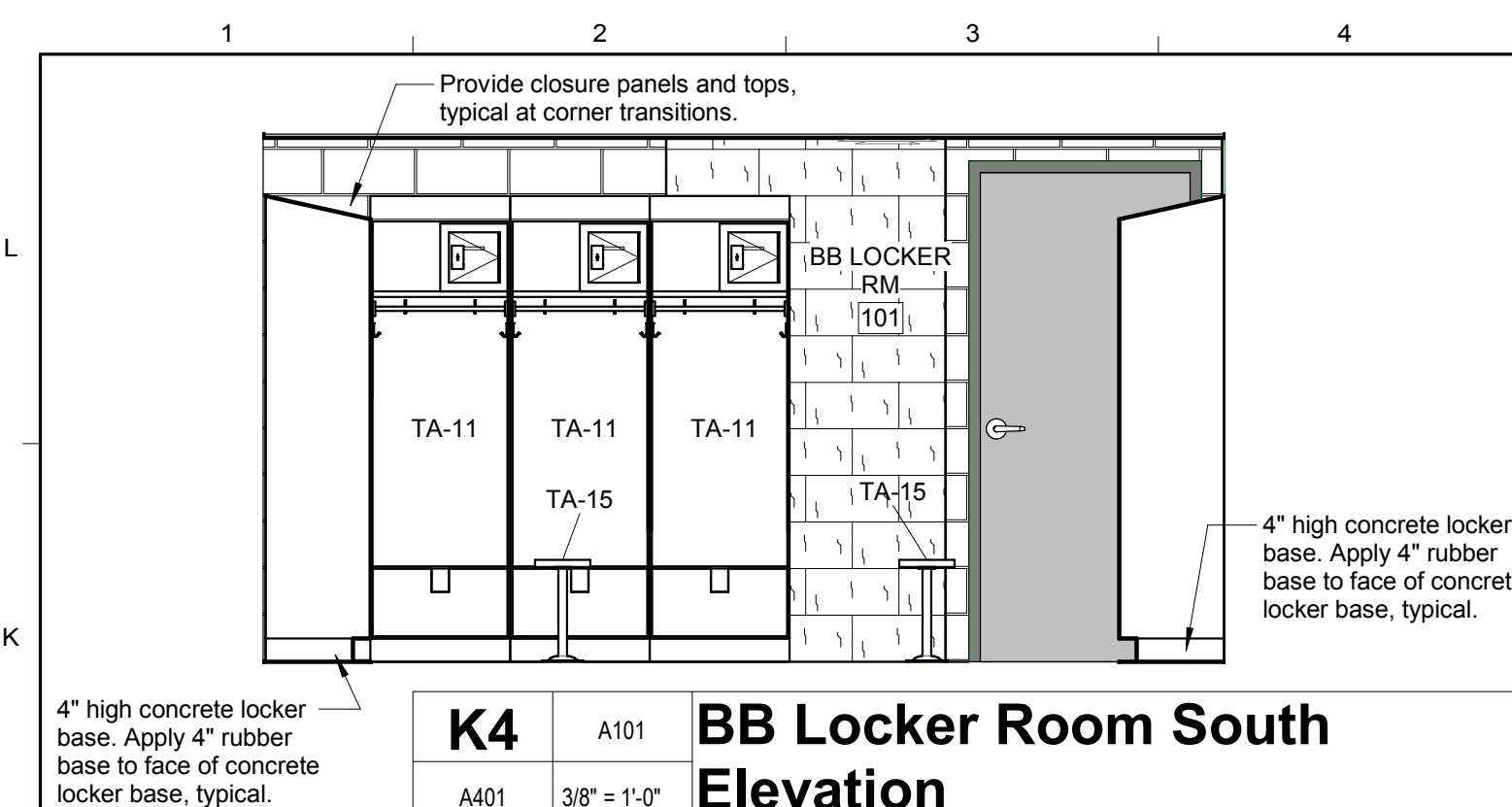
A10 A002 **Baseball Concessions - East Elevation**
 A200 1/4" = 1'-0"



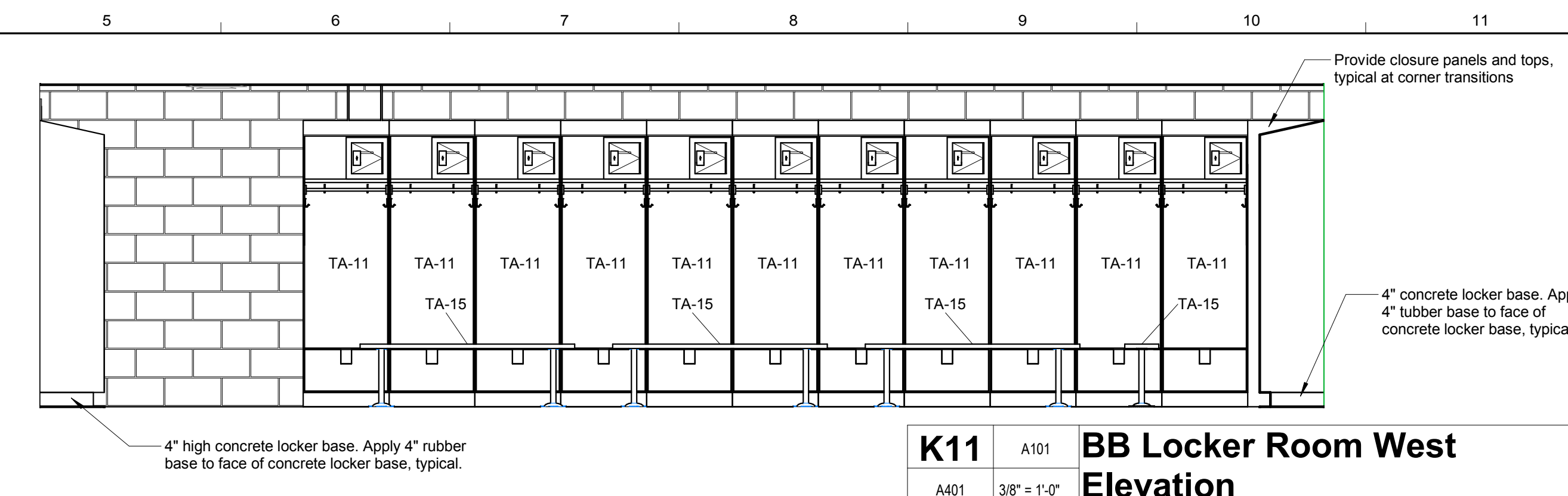
G5 A003 **Softball Concessions - North Elevation**
 A200 1/4" = 1'-0"



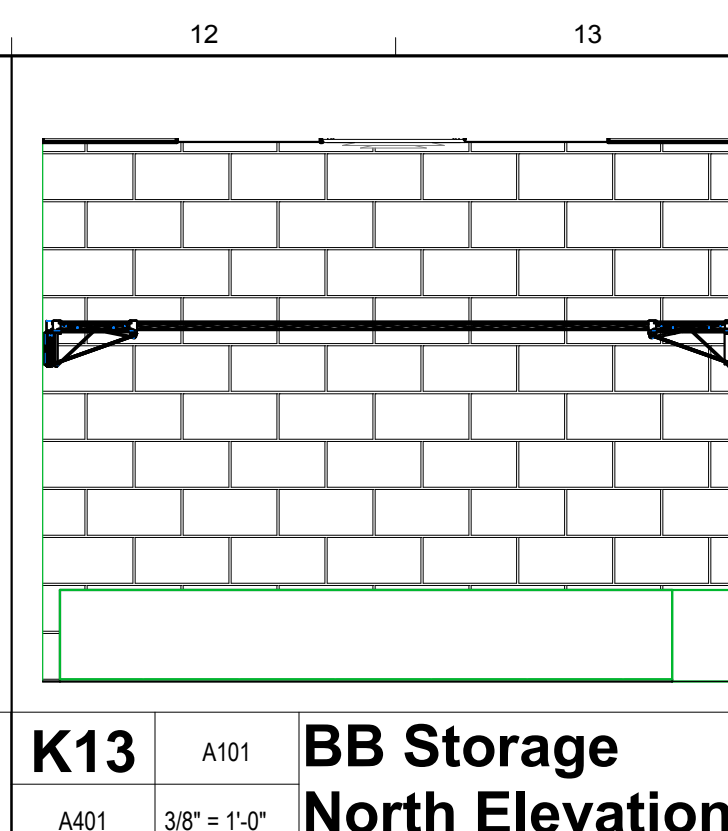
A5 A003 **Softball Concessions - South Elevation**
 A200 1/4" = 1'-0"



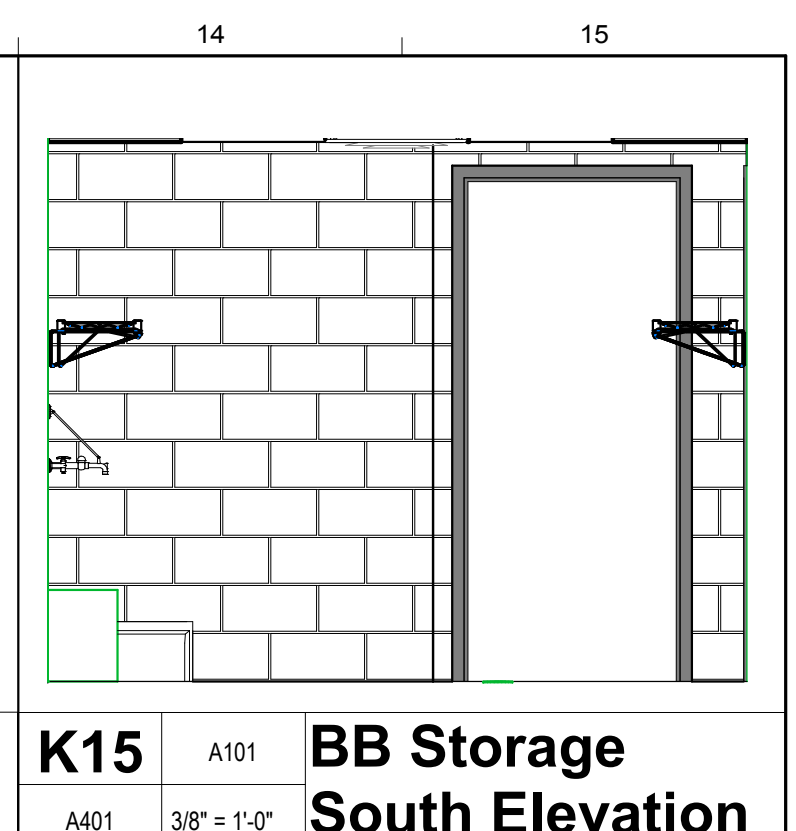
K4 A101 **BB Locker Room South Elevation**
A401 3/8" = 1'-0"



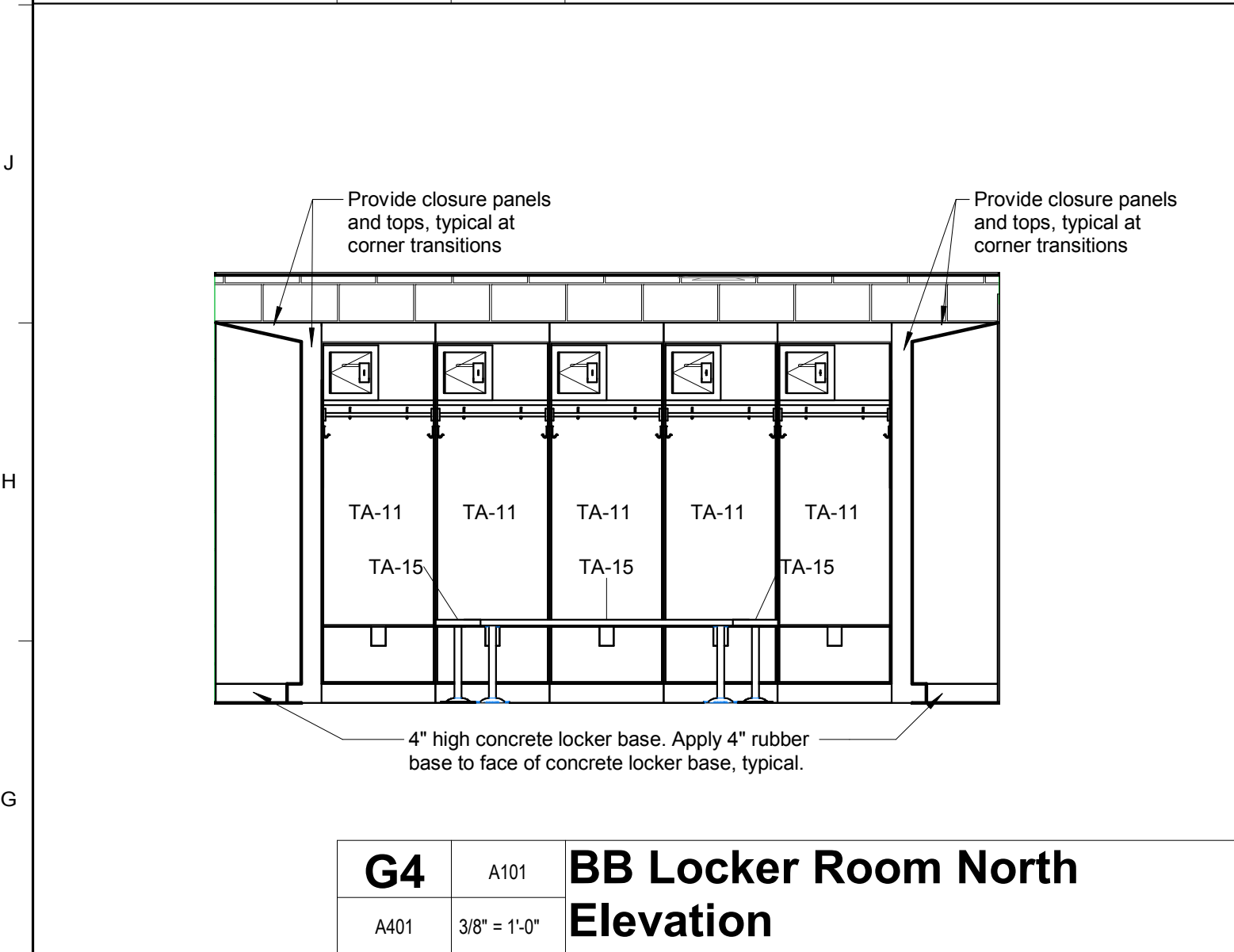
K11 A101 **BB Locker Room West Elevation**
A401 3/8" = 1'-0"



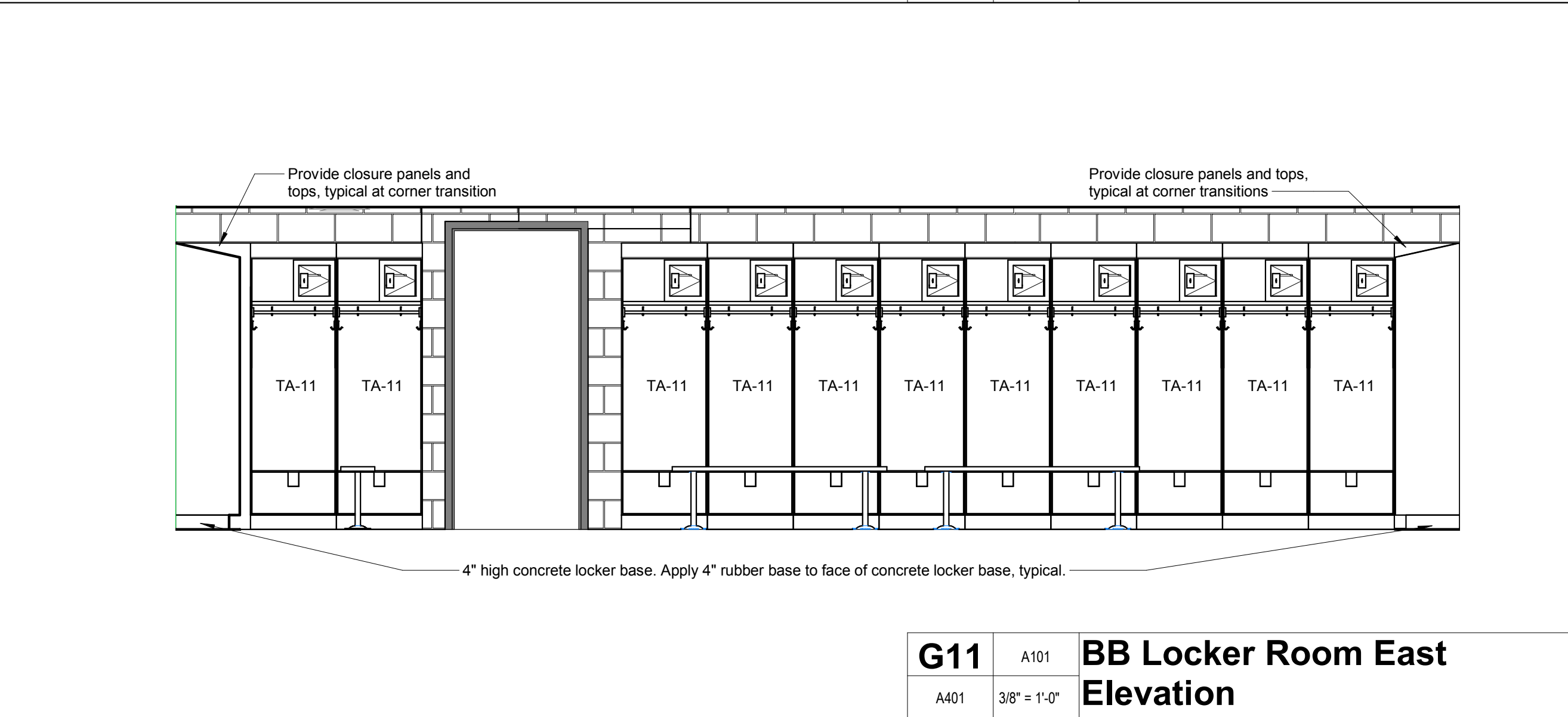
K13 A101 **BB Storage North Elevation**
A401 3/8" = 1'-0"



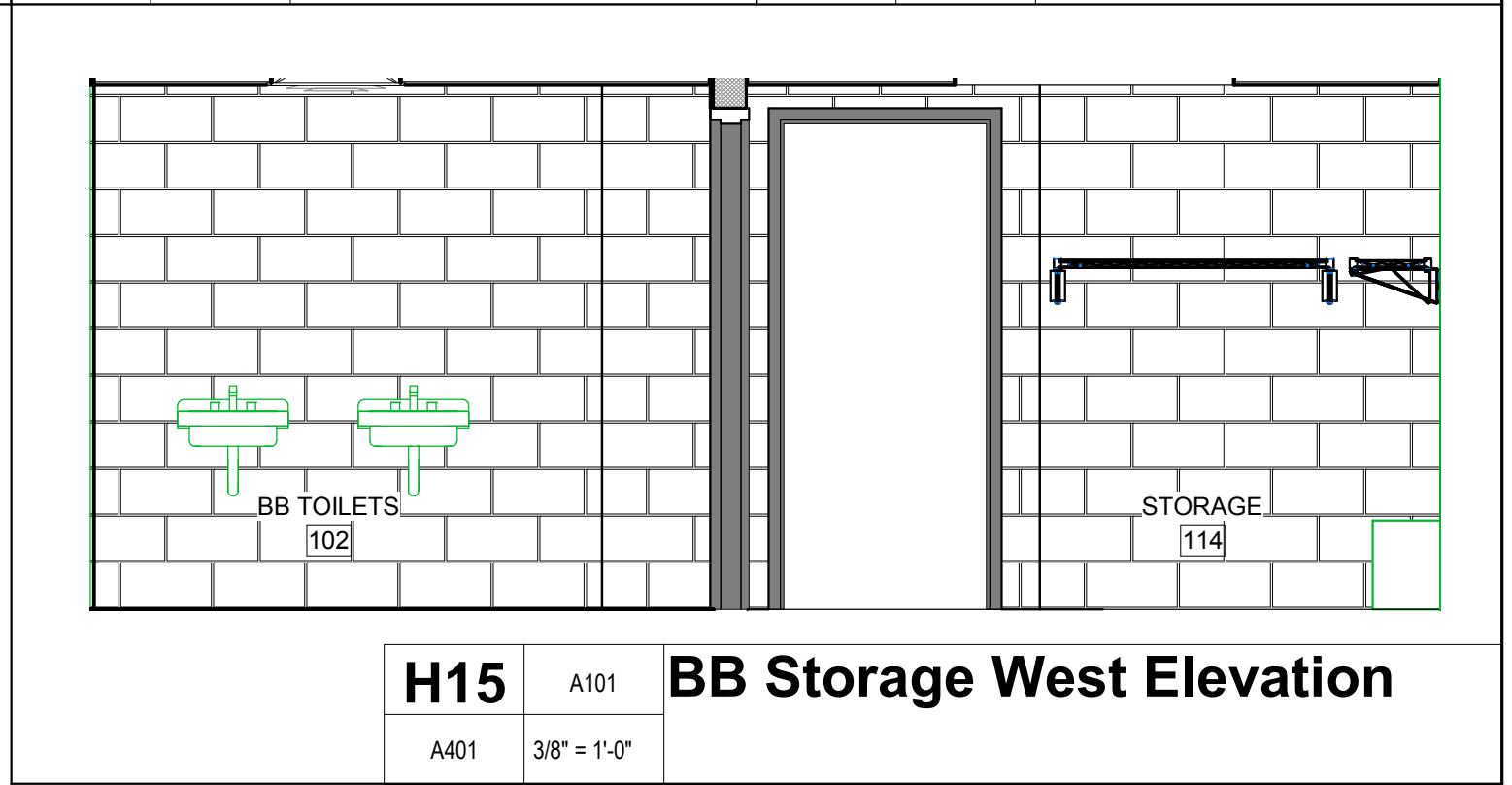
K15 A101 **BB Storage South Elevation**
A401 3/8" = 1'-0"



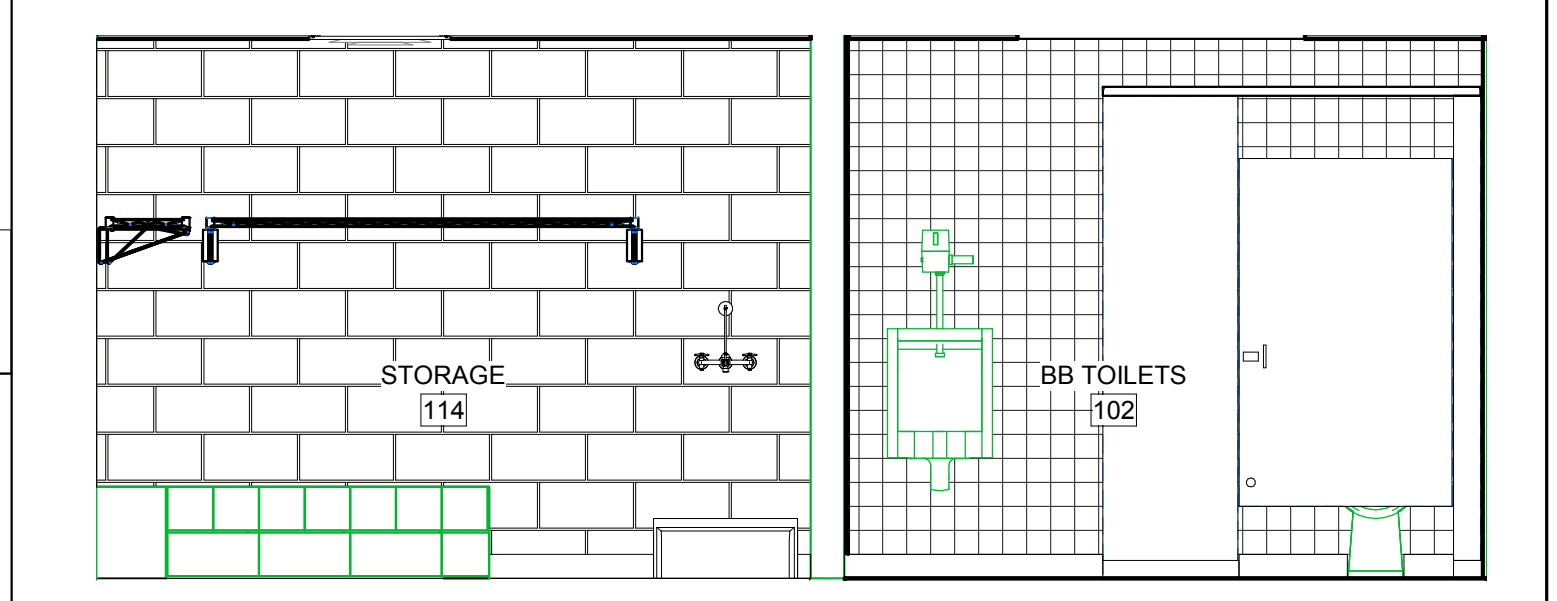
G4 A101 **BB Locker Room North Elevation**
A401 3/8" = 1'-0"



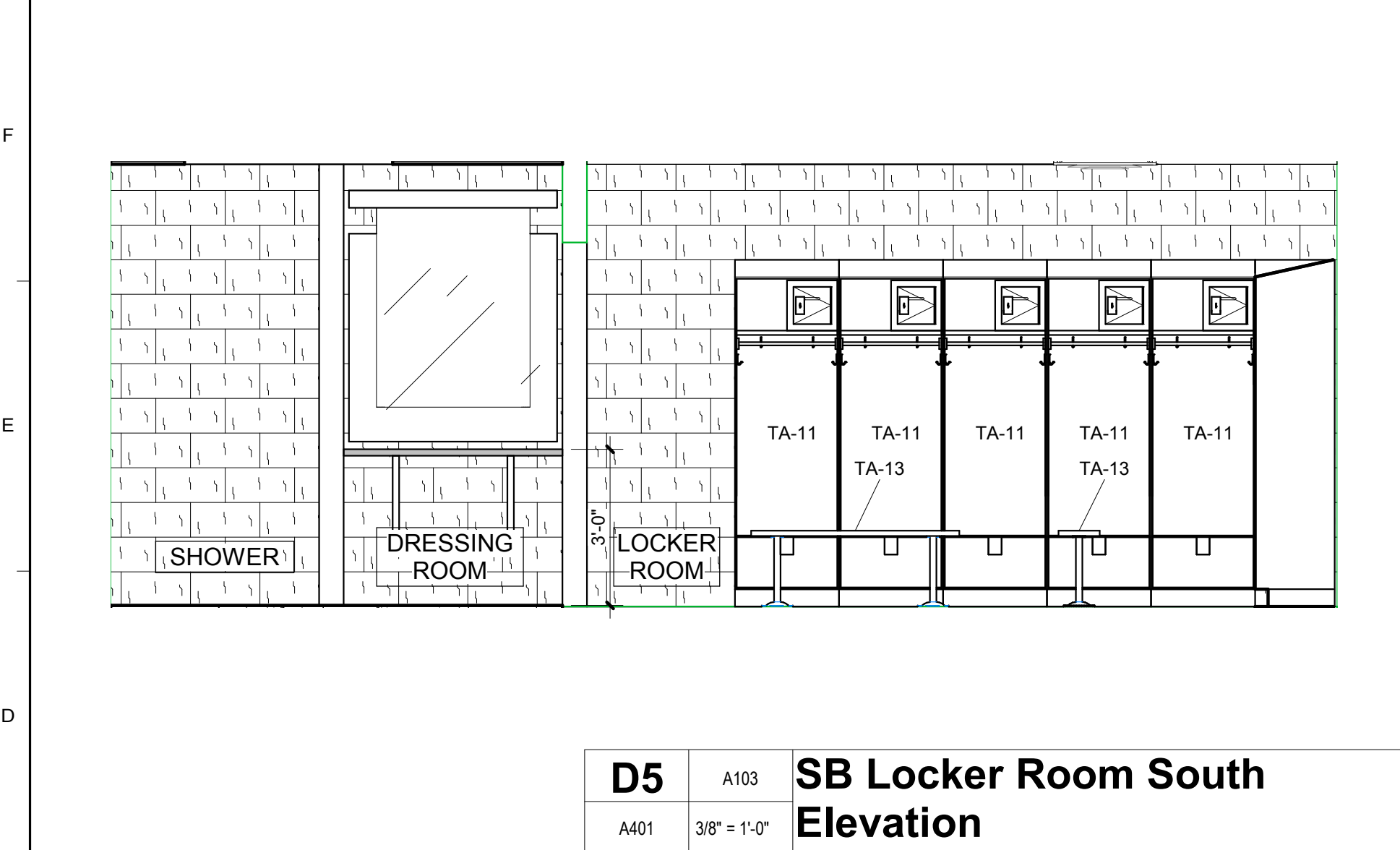
G11 A101 **BB Locker Room East Elevation**
A401 3/8" = 1'-0"



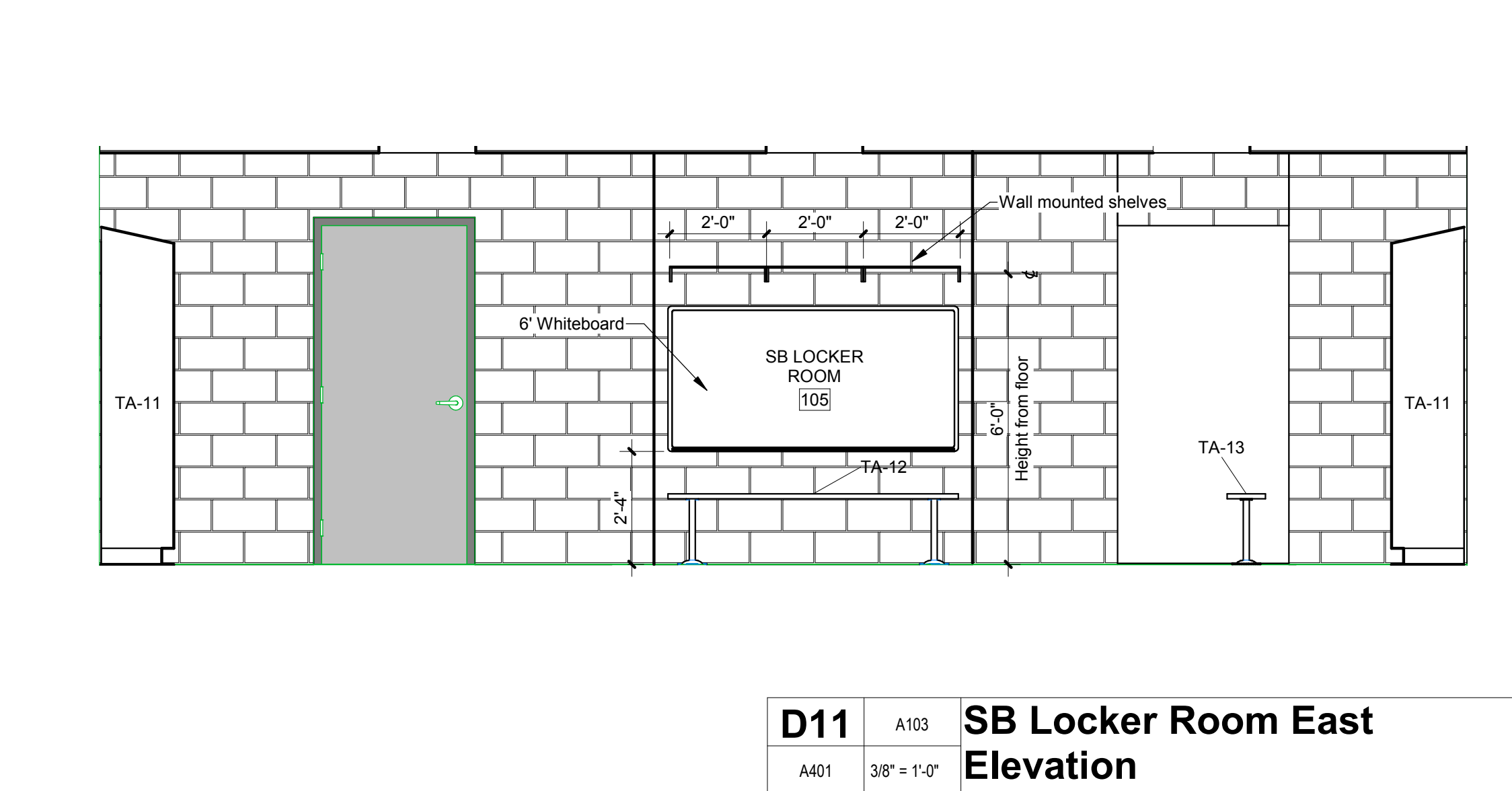
H15 A101 **BB Storage West Elevation**
A401 3/8" = 1'-0"



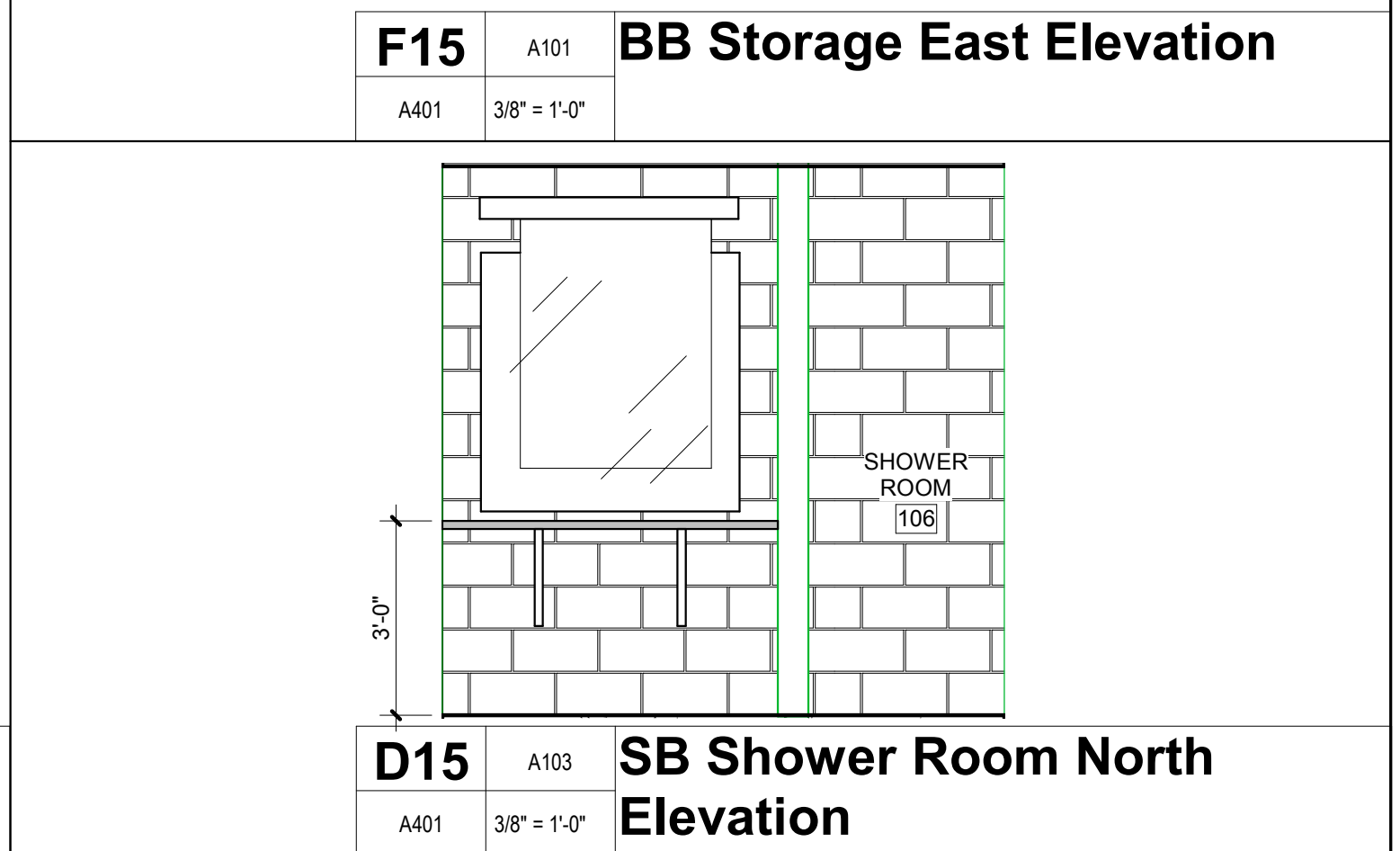
F15 A101 **BB Storage East Elevation**
A401 3/8" = 1'-0"



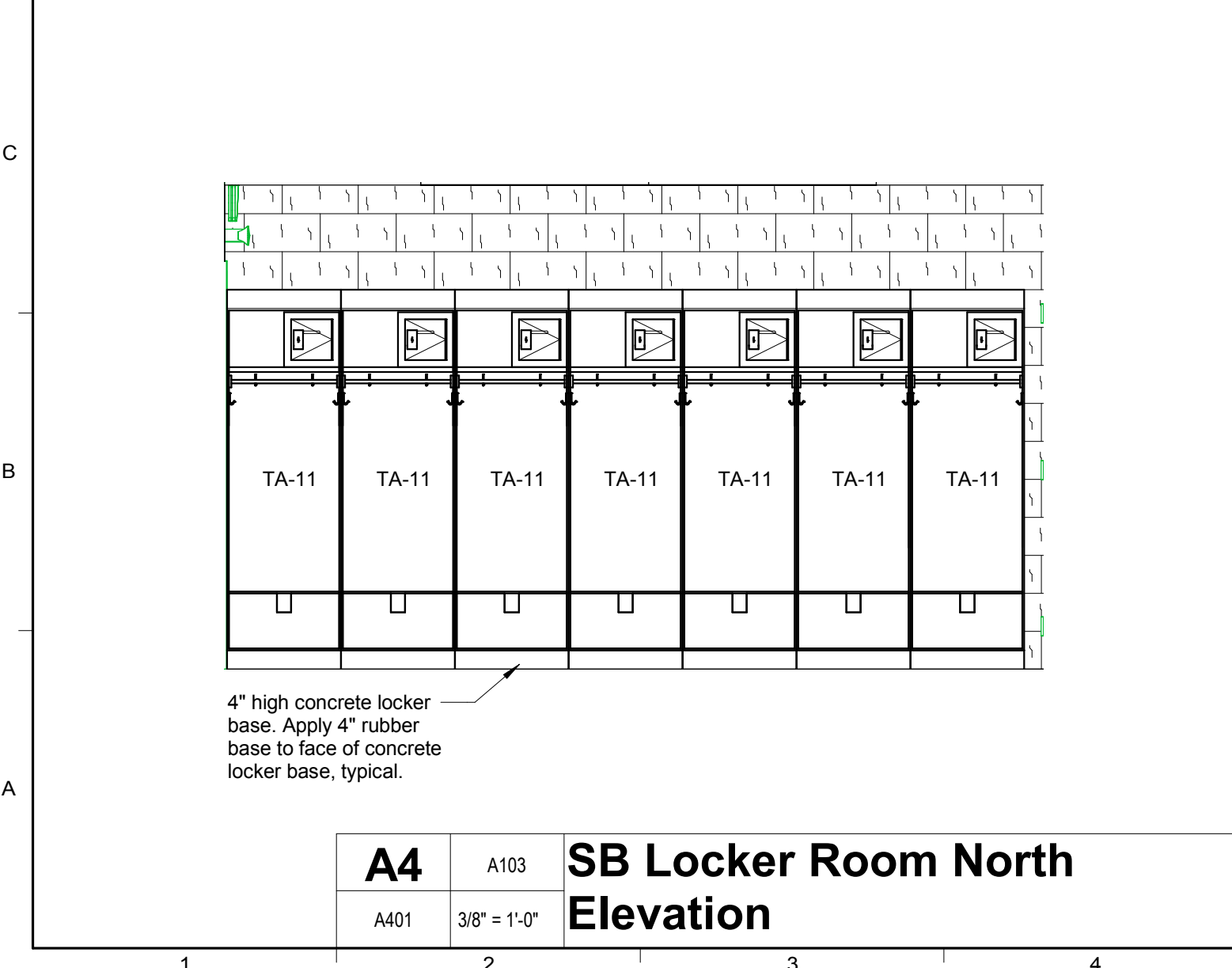
D5 A103 **SB Locker Room South Elevation**
A401 3/8" = 1'-0"



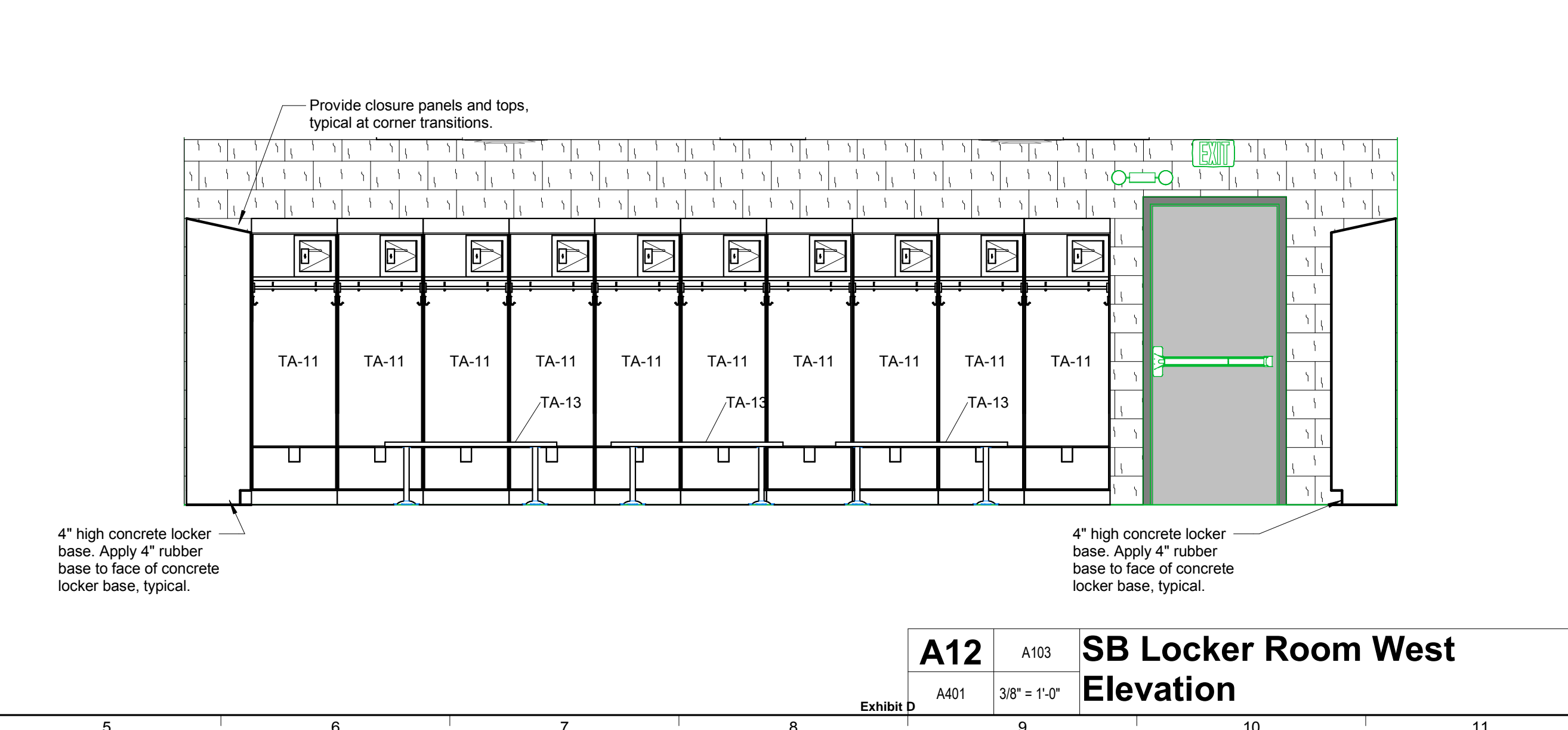
D11 A103 **SB Locker Room East Elevation**
A401 3/8" = 1'-0"



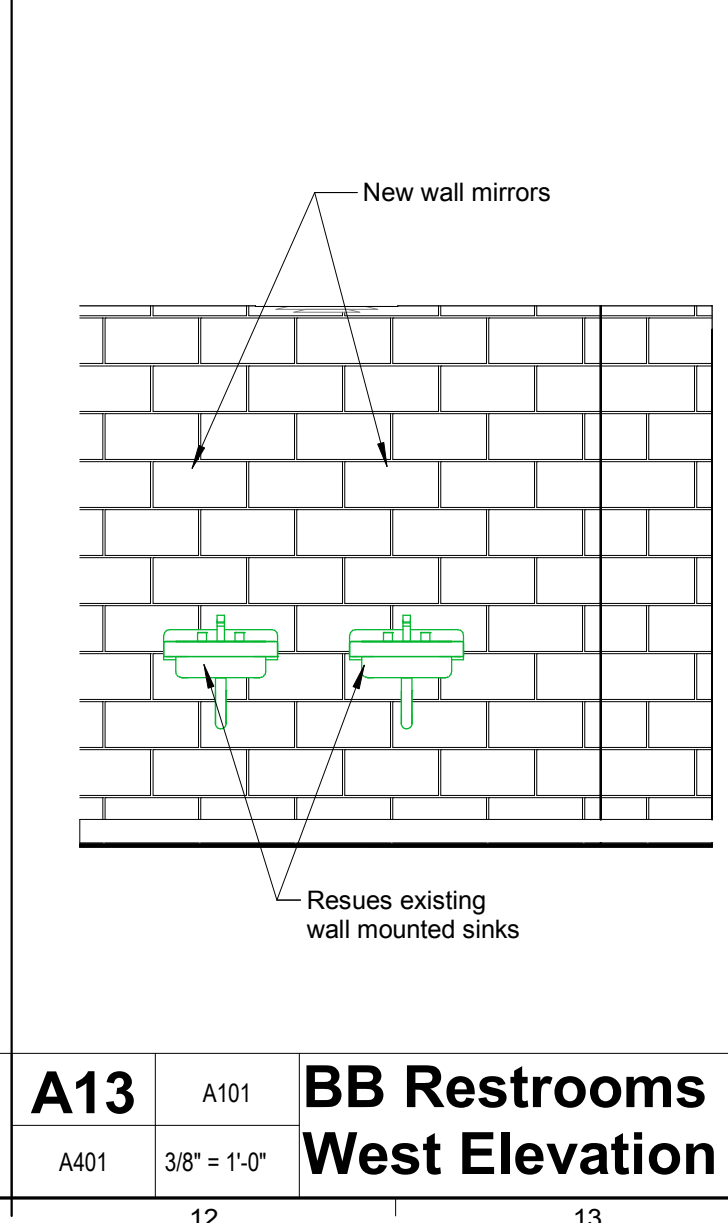
D15 A103 **SB Shower Room North Elevation**
A401 3/8" = 1'-0"



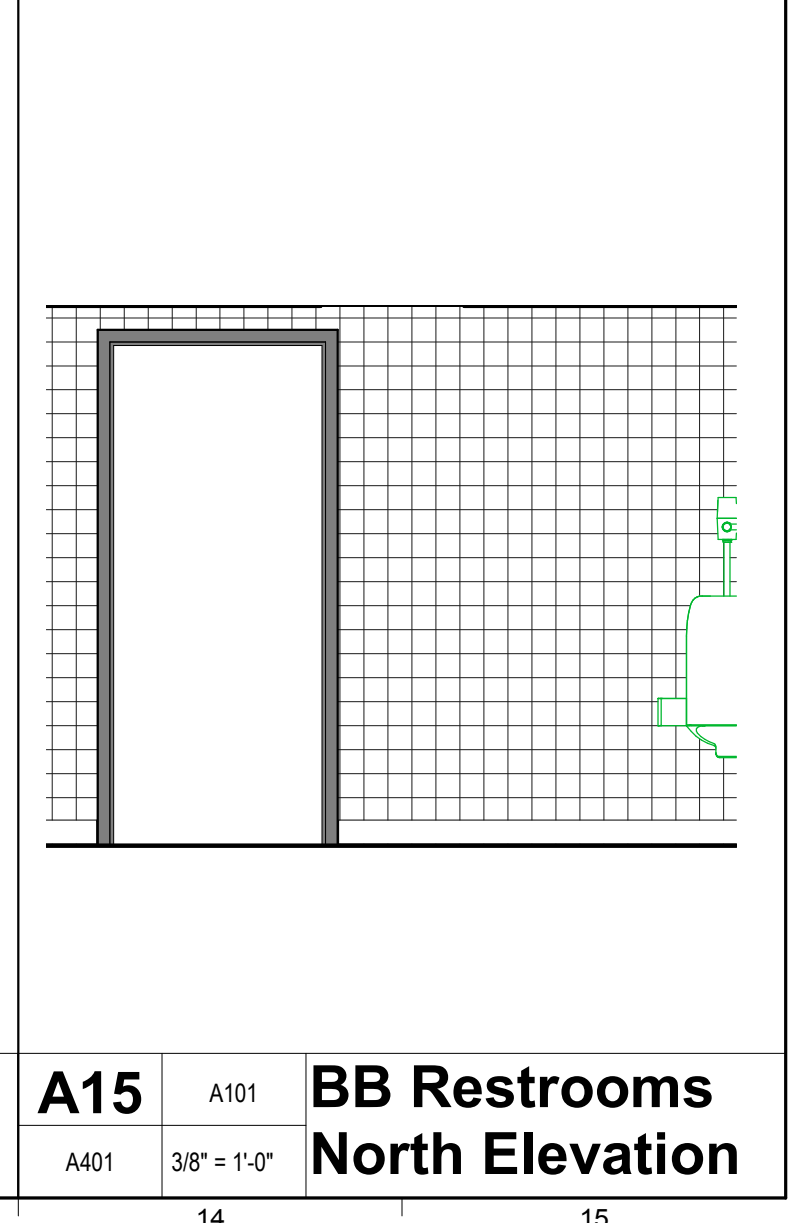
A4 A103 **SB Locker Room North Elevation**
A401 3/8" = 1'-0"



A12 A103 **SB Locker Room West Elevation**
A401 3/8" = 1'-0"



A13 A101 **BB Restrooms West Elevation**
A401 3/8" = 1'-0"



A15 A101 **BB Restrooms North Elevation**
A401 3/8" = 1'-0"



Catoosa County Schools
LFO High School Softball & Baseball Fields
1850 Battlefield Pkwy, Fort Oglethorpe, GA 30742

Date: 07/16/19
Drawn: LH
File: 8193-E

Revisions

Key Plan

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PRELIMINARY PRICING

Title: **Interior Elevations**

Scale:
Sheet No.

A401

Catoosa County Schools

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy,
Fort Oglethorpe, GA
30742

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PRELIMINARY PRICING

Title:

Finish Schedule and Legend

Scale:

Sheet No.

Finish Schedule								
Number	Name	Floor Finish	Base Finish	Wall Finish				Ceiling Finish
				North	East	South	West	
101	BB LOCKER RM	VR-1	RB-1	PT	PT	PT	PT	ACT-1
102	BB TOILETS	SC	RB-1	CT-1	CT-1	CT-1	CT-1	ACT-1
104	BATTING							
105	SB LOCKER ROOM	VR-1	RB-1	PT	PT	PT	PT	ACT-1
106	SHOWER ROOM	CT-1	RB-1	PT	PT	PT	PT	ACT-1
107	RESTROOM	SC	RB-1	PT	PT	PT	PT	ACT-1
108	OFFICE BATH / SHOWER	SC / CT-1	RB-1	PT / CT-1	PT / CT-1	PT / CT-1	PT / CT-1	ACT-1
109	OFFICE	SC-1	RB-1	PT	PT	PT	PT	ACT-1
110	WOMEN	SC	RB-1	PT	PT	PT	PT	ACT-1
111	MEN	SC	RB-1	PT	PT	PT	PT	ACT-1
112	HALLWAY	SC	RB-1	PT	PT	PT	PT	ACT-1
113	BATTING	AT-1 / VR-1						ACT-1
114	STORAGE							
115	Storage							
116	Men's							
117	Women's							
118	ENTRY							
119	BATTING HALLWAY							
120	BB CONCESSIONS							
122	SOFTBALL CONCESSIONS							
121	BB PRESS BOX							
123	SOFTBALL PRESS BOX							

FINISH LEGEND

FLOORING :

CONCRETE :

SC : SEALED CONCRETE

BC : MEDIUM BROOM FINISHED CONCRETE (EXTERIOR)

SPORTS FLOORING :

VR - 01 : VULCANIZED RUBBER FLOORING

CERAMIC TILE :

CT - 01 :

FLOORING NOTES :

1. : ALL FLOOR MATERIAL TRANSITIONS SHALL OCCUR AT THE CENTER-LINE OF DOORS.

CEILINGS :

CEILINGS :

ACT - 01 : ARMSTRONG COMMERCIAL, PATTERN STYLE : #584 - CIRRUS FINE TEXTURE CEILING TILES, WHITE BEVELED REGULAR-EDGE PANEL WITH PRELUDE 15/16" GRID #7300, 2' X 4' X 3/4" TILES

PAINT AND WALLCOVERING :

PAINT :

PT - 01 : SHERWIN WILLIAMS PAINTS, #SW6147, COLOR : PANDA WHITE, SATIN FINISH, ACRYLIC LOW VOC, (NEUTRAL WHITE WALL PAINT)

PT - 02 : SHERWIN WILLIAMS PAINTS, #SW6149, COLOR : RELAXED KHAKI, SATIN FINISH, ACRYLIC LOW VOC, (LIGHT TAN ACCENT PAINT)

PT - 03 : NOT USED

PT - 04 : BENJAMIN MOORE PAINTS, #2007-10, COLOR : SMOLDERING RED, SATIN FINISH, ACRYLIC LOW VOC, (RED ACCENT WALL PAINT)

PT - 05 : SHERWIN WILLIAMS PAINTS, #SW6502, COLOR : LOCH BLUE, SATIN FINISH, ACRYLIC LOW VOC, (BLUE ACCENT WALL PAINT)

PT - 06 : NOT USED

PT - 07 : BENJAMIN MOORE PAINTS, #HC-166, COLOR : KENDALL CHARCOAL, SEMI-GLOSS FINISH, ACRYLIC LOW VOC, (CHARCOAL DOOR FRAMES)

PT - 08 : MDC WALLS, DRY-ERASE PAINT, COLOR : WHITE, IDEA PAINT PRO, (WRITE-ON SURFACE PAINT)

PAINT NOTES :

- : GYPSUM DRYWALL WALLS SHALL HAVE ONE PRIME COAT AND A MINIMUM OF TWO FINISH COATS.
- : ALL DOOR FRAMES TO RECEIVE PAINT AND SHALL HAVE SEMI-GLOSS FINISH, UNLESS NOTED OTHERWISE.
- : PREP ALL WALLS TO RECEIVE AN EGGSHELL / SATIN PAINT FINISH. NOTIFY OWNER FOR ANY ABNORMAL CONDITIONS AND REQUIRED REPARATIONS.
- : PARTITIONS SHALL BE FINISHED COMPLETELY TO FLOOR TO ELIMINATE WARPS AND BUMPS BEHIND DESIGNATED RUBBER BASE.

BASES :

BASES :

RB - 01 : FLEXCO, 4" RUBBER COVE WALL BASE, #093 GRAPHITE

BASE NOTES :

1. : ALL BASE TO BE CONTINUOUS ROLL GOODS, VERSUS 4' SEGMENTS, WITH JOB-FORMED INSIDE AND OUTSIDE CORNERS.

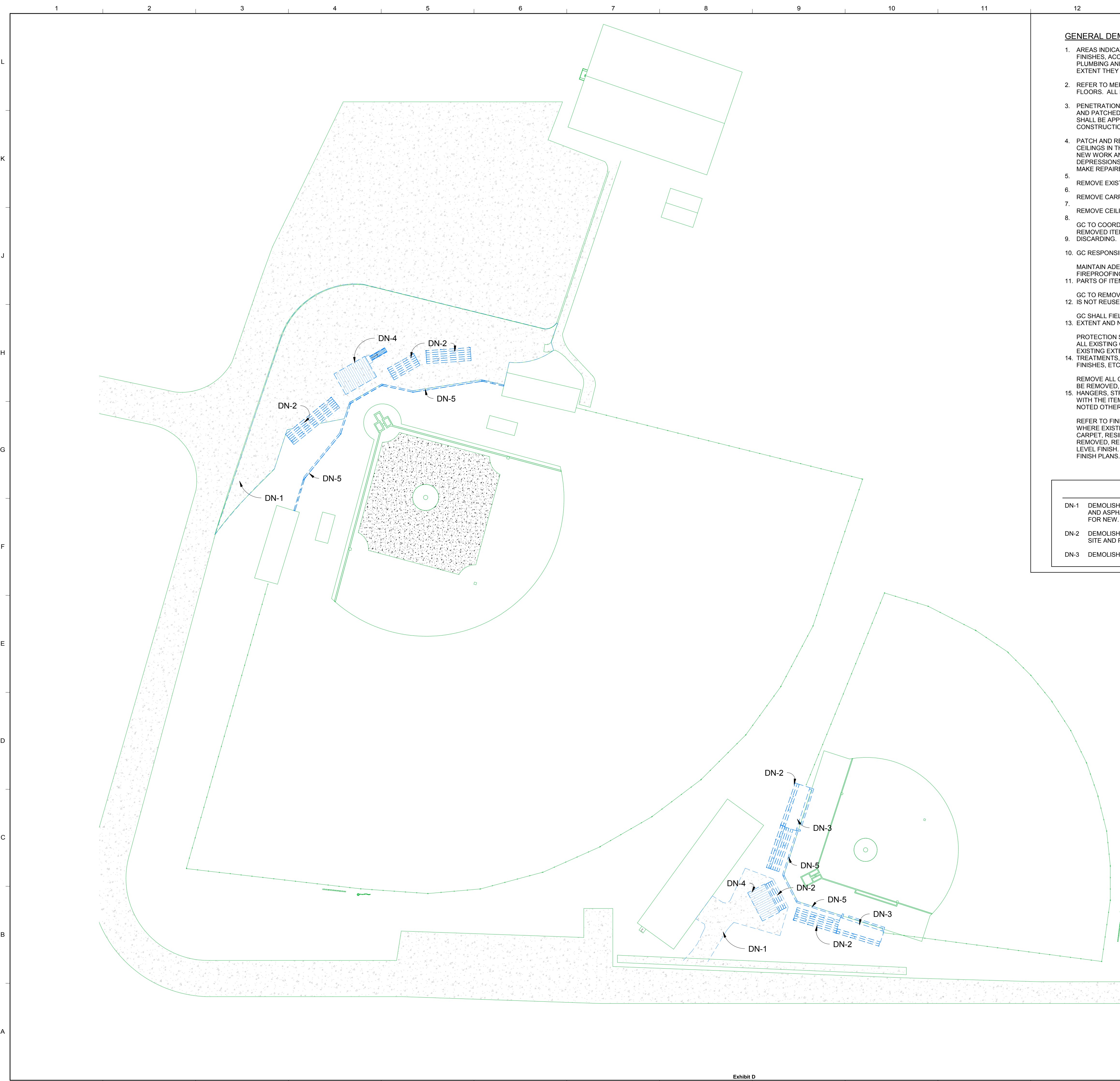
MILLWORK :

MILLWORK :

PL - 01 : WILSONART, SOLID SURFACE, COLOR : PARIS FOG, 1/2" TH.; (GREIGE TEXTURED SOLID SURFACE)

MILLWORK NOTES :

- : WHERE IDENTIFIED AS LAMINATE FINISH ON MILLWORK, USE COLOR CORE LAMINATES FOR EXPOSED SURFACES FOR DOORS, DRAWERS, COUNTER-TOPS AND SPLASHES.
- : THE UNDERSIDE OF ALL VERTICAL LAMINATE PANELS IN WET AREAS SHALL RECEIVE A MATCHING LAMINATE OR 1mm PVC EDGE TO PREVENT WATER FROM WICKING UP THROUGH LAMINATE PANEL SUBSTRATES.
- : COUNTERS AND SPLASHES SHALL BE THOROUGHLY CAULKED TO WALLS AND COUNTER-TOPS USING CLEAR SILICONE CAULK.



GENERAL DEMO NOTES

1. AREAS INDICATED FOR DEMOLITION SHALL HAVE ALL PARTITIONS, CEILING, FINISHES, ACCESSORIES, MILLWORK, ELECTRICAL, MECHANICAL AND PLUMBING AND ALL OTHER IMPROVEMENTS REMOVED EXCEPT TO THE EXTENT THEY ARE INDICATED TO REMAIN.
2. REFER TO MEP DRAWINGS FOR NOTES ABOUT PENETRATIONS OF EXISTING FLOORS. ALL HOLES SHALL BE CUT TO AVOID REINFORCEMENT.
3. PENETRATIONS OF EXISTING WALLS AND PARTITIONS SHALL BE CUT CLEANLY AND PATCHED WITH THE SAME MATERIAL. APPROPRIATE FIRE STOPPING SHALL BE APPLIED TO ALL RATED FLOORS AND WALLS DISTURBED DURING CONSTRUCTION.
4. PATCH AND REPAIR ALL CONSTRUCTION INCLUDING SLAB, WALLS AND CEILINGS IN THE AREAS OF DEMOLITION AS NECESSARY TO ACCOMMODATE NEW WORK AND FINISHES. THIS INCLUDES PATCHING HOLES, FILLING DEPRESSIONS, LEVELING SURFACES AND SIMILAR WORK AS NEEDED TO MAKE REPAIRED SURFACES.
5. REMOVE EXISTING WALLCOVERING AND PATCH DRYWALL THROUGHOUT.
6. REMOVE CARPET THROUGHOUT.
7. REMOVE CEILING GRID AND TILE THROUGHOUT.
8. GC TO COORDINATE WITH OWNER'S PROJECT MANAGER AS TO WHAT REMOVED ITEMS ARE TO BE INVENTORIED AND ACCOUNTED FOR PRIOR TO DISCARDING.
9. GC RESPONSIBLE FOR KEEPING PROJECT CLEAN AT ALL TIMES.
10. MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, FIREPROOFING, SECURITY FIRE SUPPRESSION, ETC. FOR ALL ITEMS OR PARTS OF ITEMS TO REMAIN.
11. GC TO REMOVE EXISTING LIGHT FIXTURES, J-BOX WIRING AND CONDUIT THAT IS NOT REUSED OR ABANDONED.
12. GC SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK.
13. PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO, EXISTING EXTERIOR WALL ASSEMBLY, FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONVECTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
14. REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS APPURTENANCES CONNECTED WITH THE ITEMS BEING REMOVED. FLOOR FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
15. REFER TO FINISH PLANS FOR EXTENT OF NEW FINISHES TO DETERMINE WHERE EXISTING FINISHES ARE TO BE REMOVED. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATION IS REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH, LEVEL FINISH. PREPARE ALL WALLS FOR NEW FINISHES AS INDICATED IN FINISH PLANS.

DEMOLITION NOTES			
DN-1	DEMOLISH EXISTING CONCRETE PLAZA AND ASPHALT PAVING TO PREPARE FOR NEW.	DN-4	DEMOLISH EXISTING STRUCTURE ON SITE AND PREPARE FOR NEW SITE WORK.
DN-2	DEMOLISH EXISTING BLEACHERS ON SITE AND PREPARE FOR NEW.	DN-5	DEMOLISH EXISTING BACKSTOP WALL.
DN-3	DEMOLISH EXISTING DUGOUT.		



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Catoosa County Schools

LFO High School Softball & Baseball Fields

1850 Battlefield Pkwy,
 Fort Oglethorpe, GA
 30742

Date: 08/12/19
 Drawn: Author
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Revisions

Key Plan

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PRELIMINARY PRICING

Overall Site Demo Plan

Scale:
 Sheet No.

A15	A200	Site Plan Demo
D101	1/32" = 1'-0"	

D101